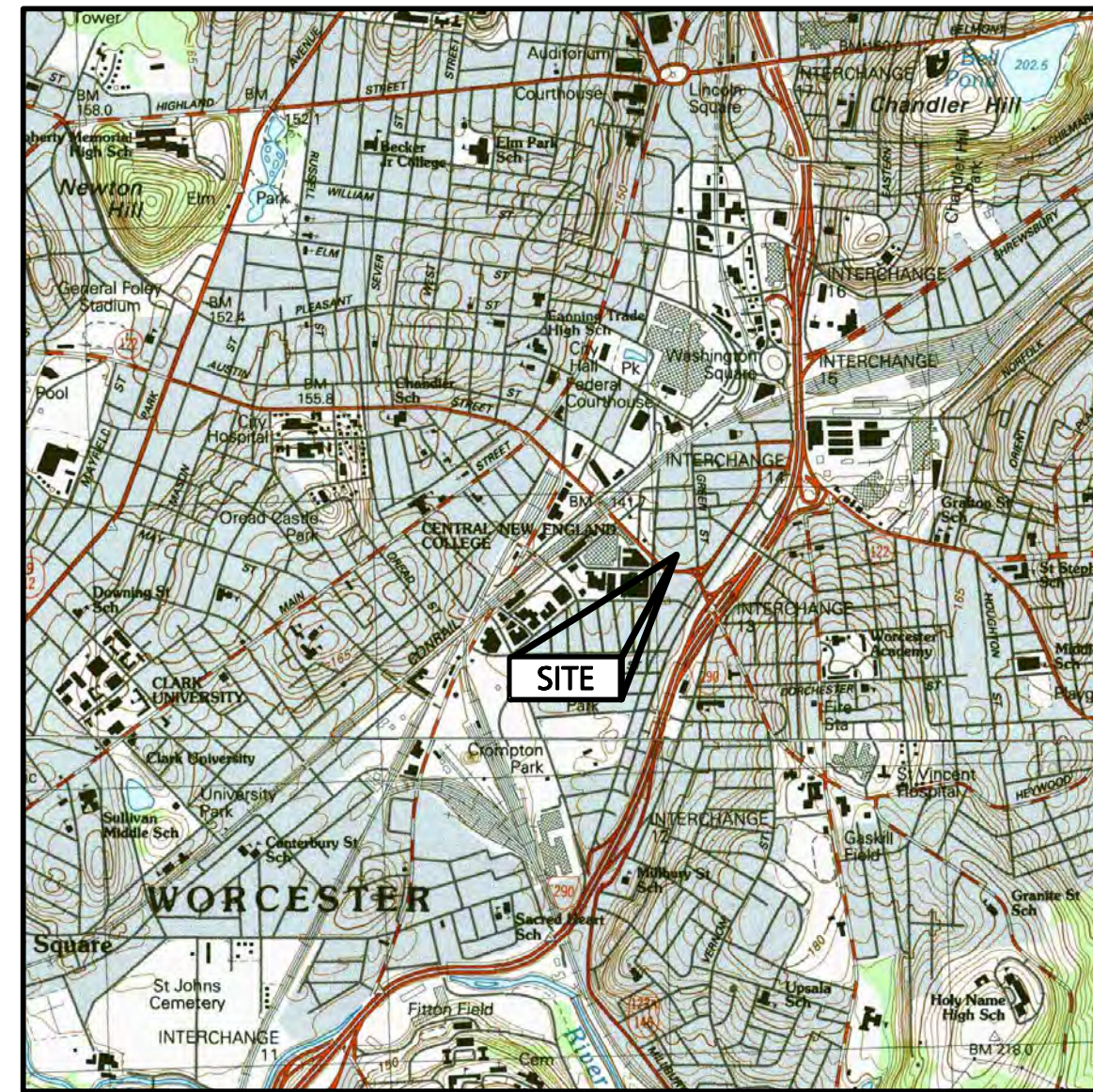


PROPOSED MIXED-USE DEVELOPMENT

Lot 3B Madison Street
Worcester, Massachusetts 01610

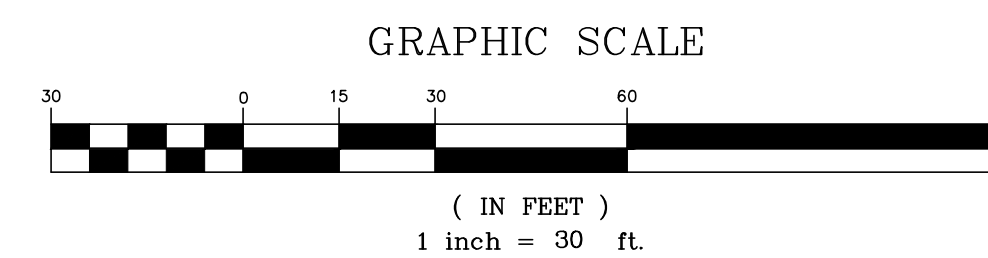
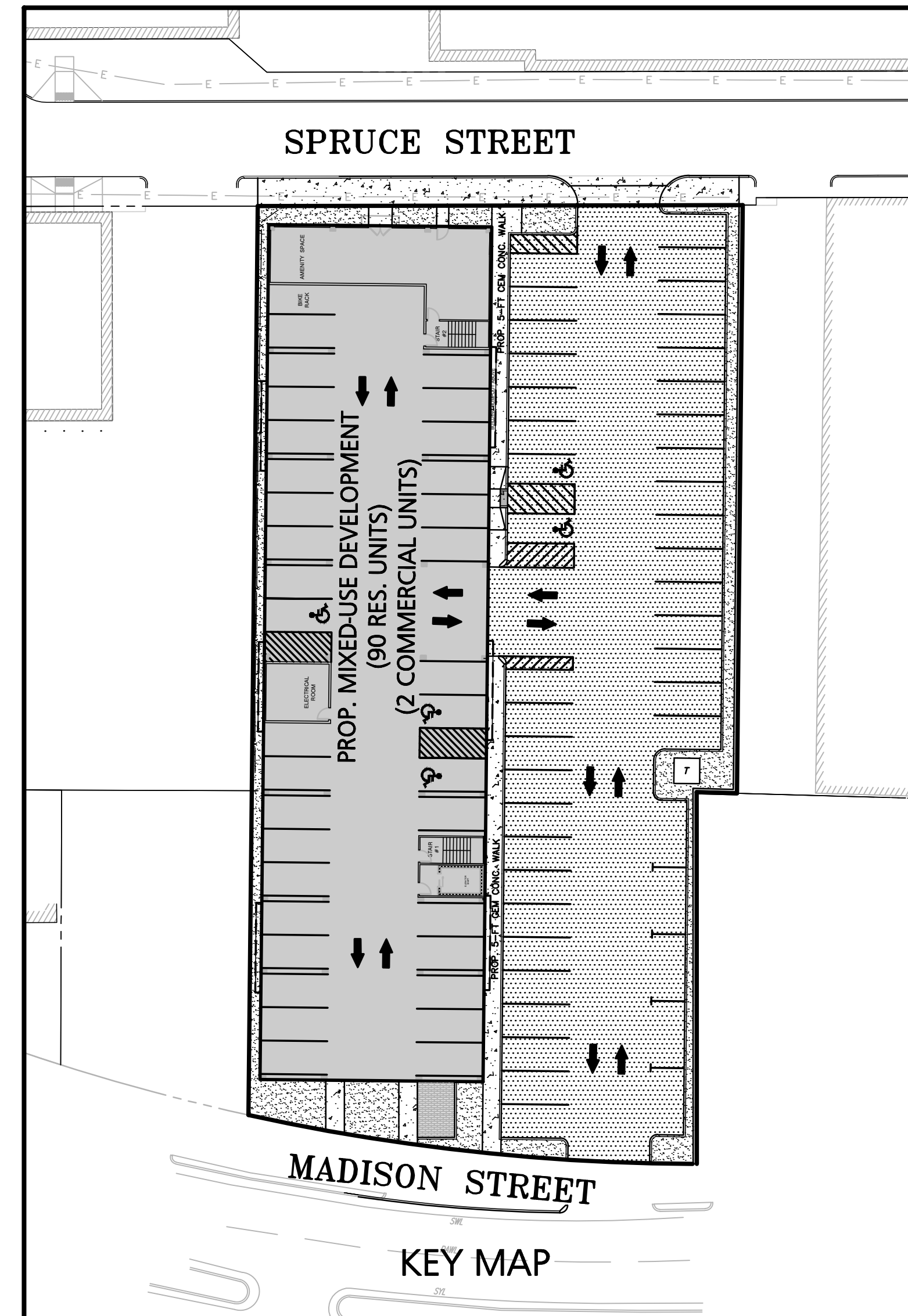


LOCUS MAP
SCALE: 1:25,000

OWNER/APPLICANT:
ROSSI DEVELOPMENT
345 BOYLSTON STREET SUITE 300
NEWTON, MA 02459

CIVIL ENGINEER:
ENGINEERING ALLIANCE, INC.
194 CENTRAL STREET
SAUGUS, MA 01906
(781) 231-1349

ARCHITECT:
PAUL R. LESSARD
13 STATION ROAD
SALEM, MA 01970
(978) 210-1960



PREPARED BY:


Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

PREPARED FOR:

Rossi Development
345 Boylston Street Suite 300
Newton, MA 02459

SHEET NUMBER AND TITLE

- C-0 COVER SHEET
- C-1 EXISTING CONDITIONS PLAN
- C-2 EROSION CONTROL PLAN
- C-3 SITE LAYOUT PLAN
- C-3A LOWER LEVEL SITE LAYOUT PLAN
- C-4 GRADING, DRAINAGE & UTILITY PLAN
- L-1 LANDSCAPE PLAN
- D-1 CONSTRUCTION DETAILS I
- D-2 CONSTRUCTION DETAILS II

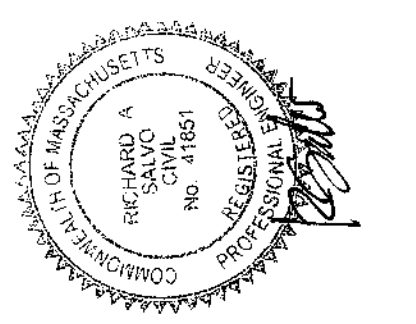
DATE	DESCRIPTION OF REVISION
12-30-24	REVISED PER PLANNING STAFF COMMENTS

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

1950 Lafayette Road
Portsmouth, NH 03801
Tel: (603) 610-7100
Fax: (603) 610-7101

Proposed Site Plan
Lot 3B Madison Street
Worcester, Massachusetts

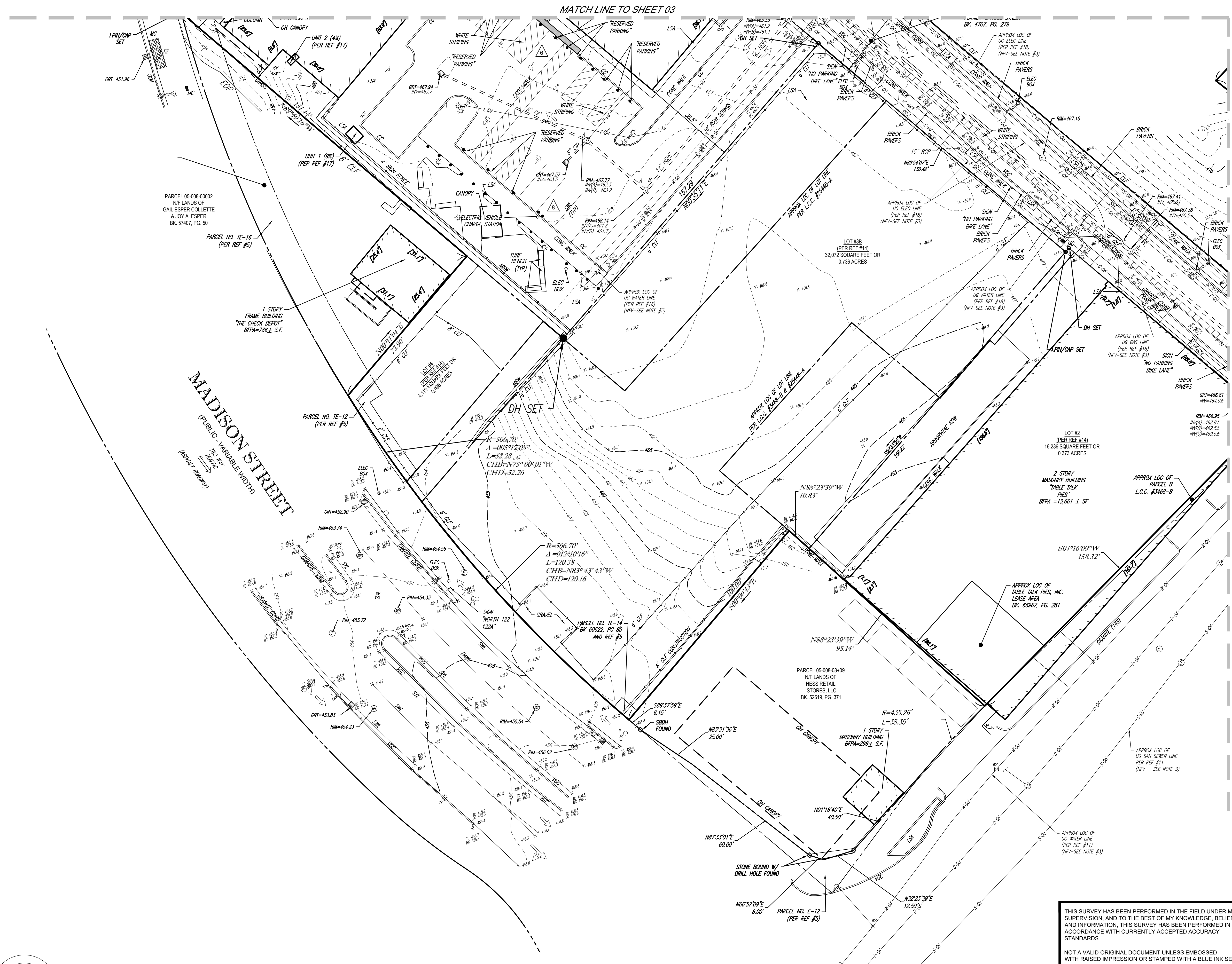
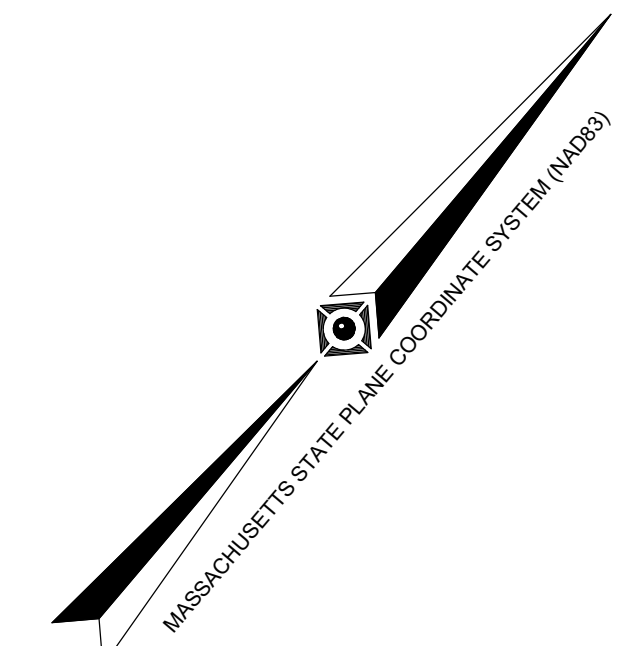
PROJECT #: 24-61422
DATE: December 9, 2024
SCALE: AS NOTED
DWG FILE NAME: 24-61422.dwg
DESIGN BY: Eric Bradanese, P.E.
CHECKED BY: Richard A. Salvo, P.E.



Rossi Development
345 Boylston Street Suite 300
Newton, MA 02459

DRAWING TITLE:
C-0 Cover Sheet

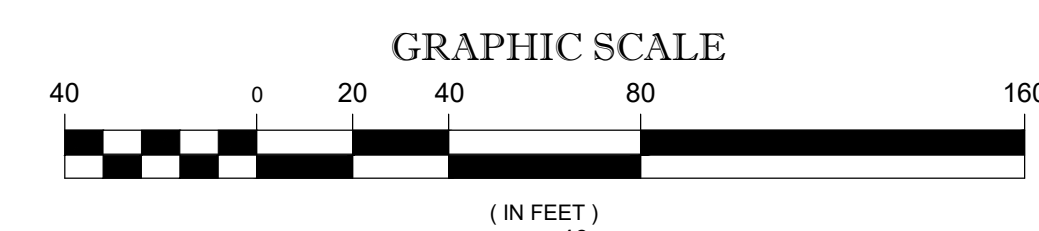
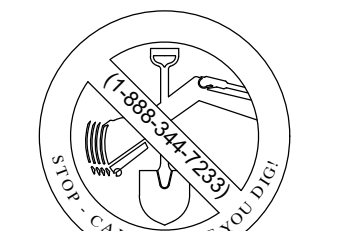
DWG. NO.:
C-0



LEGEND

---	EXISTING CONTOUR
- - -	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X TW 123.45	EXISTING TOP OF WALL ELEVATION
X BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
X FF 123.45	EXISTING FINISHED FLOOR ELEVATION
⊕	HYDRANT
⊕	WATER VALVE
⊕	UNKNOWN VALVE
⊕	GAS VALVE
⊕	GAS METER
⊕	ELECTRIC METER
—	OVERHEAD WIRES
—	APPROX. LOC. UNDERGROUND GAS LINE
—	APPROX. LOC. UNDERGROUND ELECTRIC LINE
—	APPROX. LOC. UNDERGROUND CABLE LINE
—	APPROX. LOC. UNDERGROUND DRAINAGE LINE
—	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
—	APPROX. LOC. UNDERGROUND WATER LINE
UP #	UTILITY POLE
GW	GUY WIRE
—	STREET LIGHT
□	AREA LIGHT
C/O	CLEAN OUT
—	SIGN
—	BOLLARD
—	U-BOLLARD
—	POST
→	PAINTED ARROWS
⊕	DRAINAGE/STORM MANHOLE
⊕	ELECTRIC MANHOLE
⊕	SANITARY/SEWER MANHOLE
⊕	TELEPHONE MANHOLE
⊕	UNKNOWN MANHOLE
⊕	CATCH BASIN OR INLET
⊕	TREE & TRUNK SIZE
⊕	PARKING SPACE COUNT
⊕	CHAIN LINK FENCE
DC	DEPRESSED CURB
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
UG	UNDER GROUND
LSA	LANDSCAPED AREA
MC	METAL COVER
(TYP)	TYPICAL
SML	SOLID WHITE LINE
DYL	DOUBLE YELLOW LINE
HT	HEIGHT
DHYL	DASHED YELLOW LINE
BLDG	BUILDING
BFFA	BUILDING FOOTPRINT AREA
EL	ELEVATION
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
CIP	CAST IRON PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
L.O.	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
-0-	SUBSURFACE UTILITY QUALITY LEVEL D

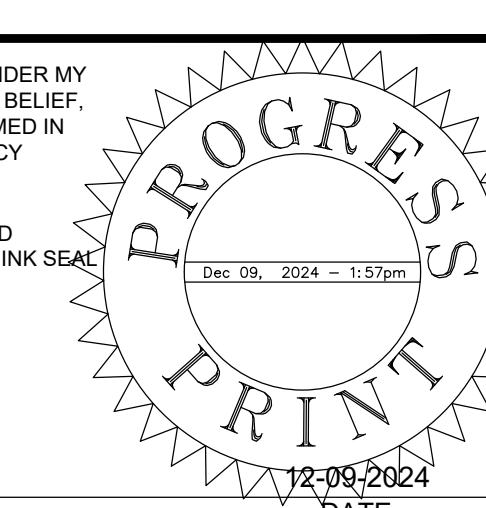
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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



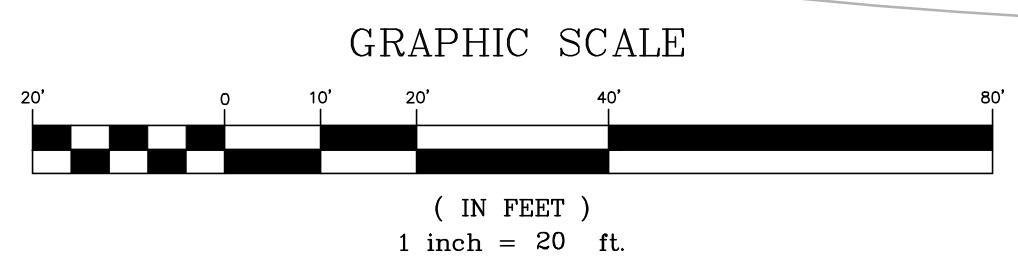
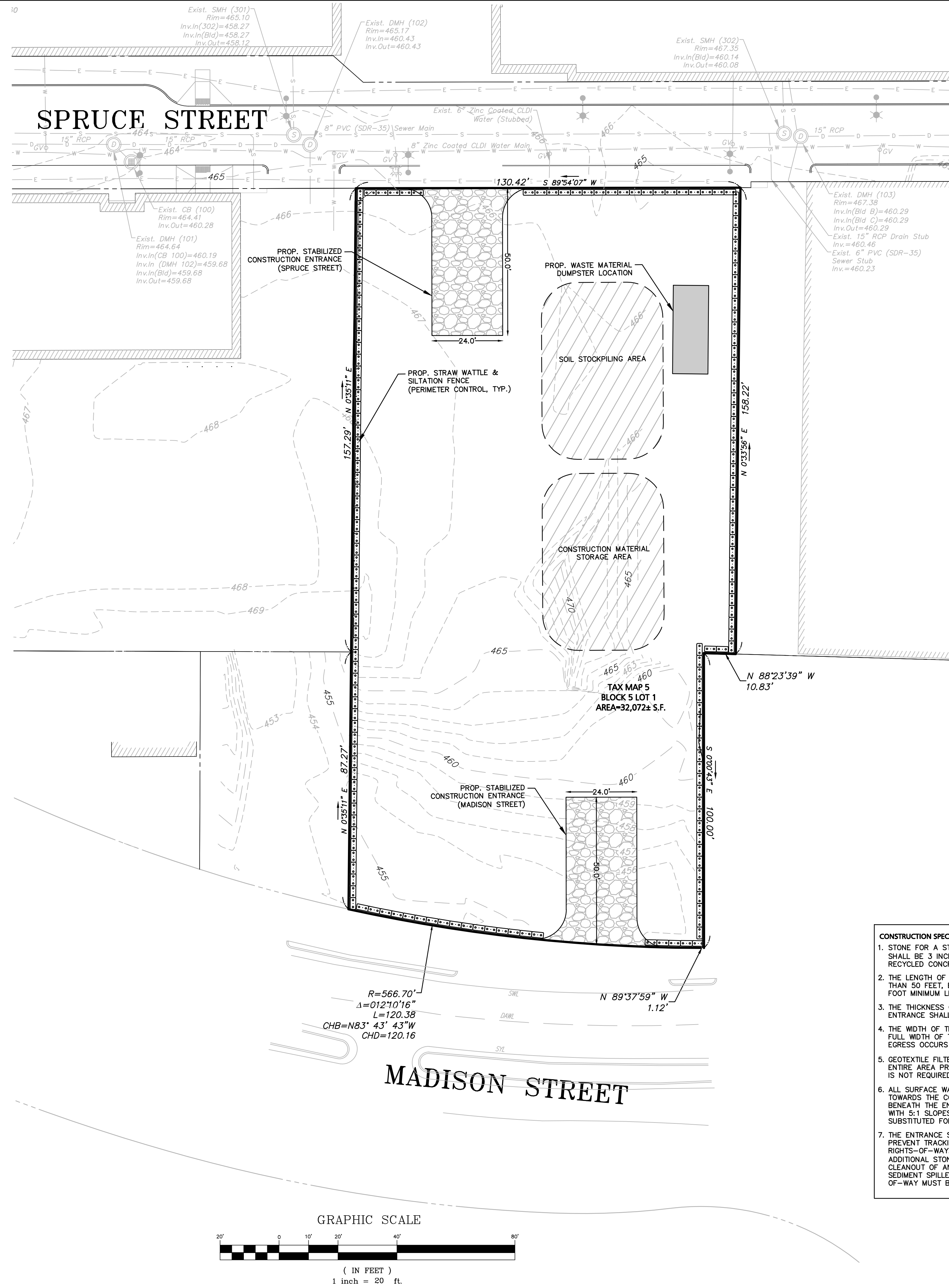
SEE SHEET 1 OF 4 FOR NOTES AND REFERENCES

FIELD DATE	12-05-2024
FIELD BOOK NO.	-
FIELD BOOK PG.	-
FIELD CREW	C.W.
DRAWN	R.A.B.
REVIEWED	R.J.K.
APPROVED	G.L.H.
DATE	12-09-2024
SCALE	1" = 40'
FILE NO.	03-200266-01
DWG. NO.	2 OF 4

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
 BOSTON CAPITAL DEVELOPMENT PARTNERS LLC
 120 WASHINGTON STREET
 PARCEL 05-005-0001
 CITY OF WORCESTER, WORCESTER COUNTY
 COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
 35 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 508.948.3000 • 508.948.3003 FAX
 WWW.CPASURVEY.COM

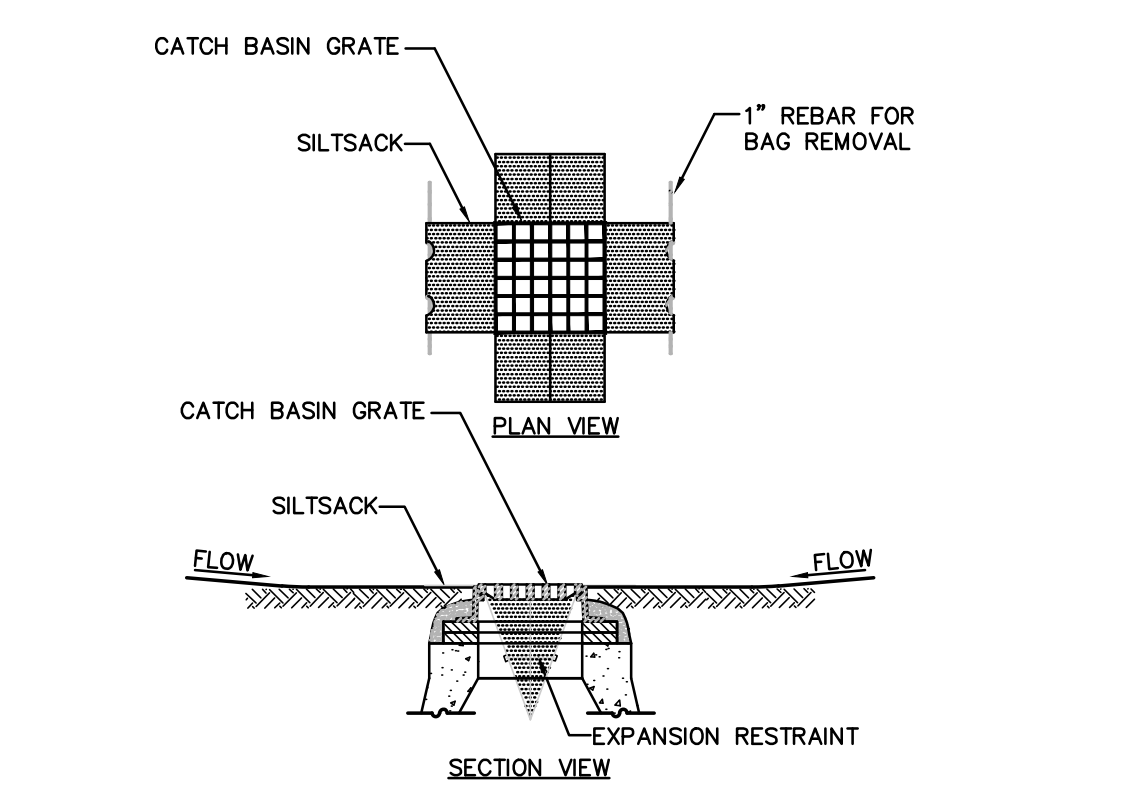
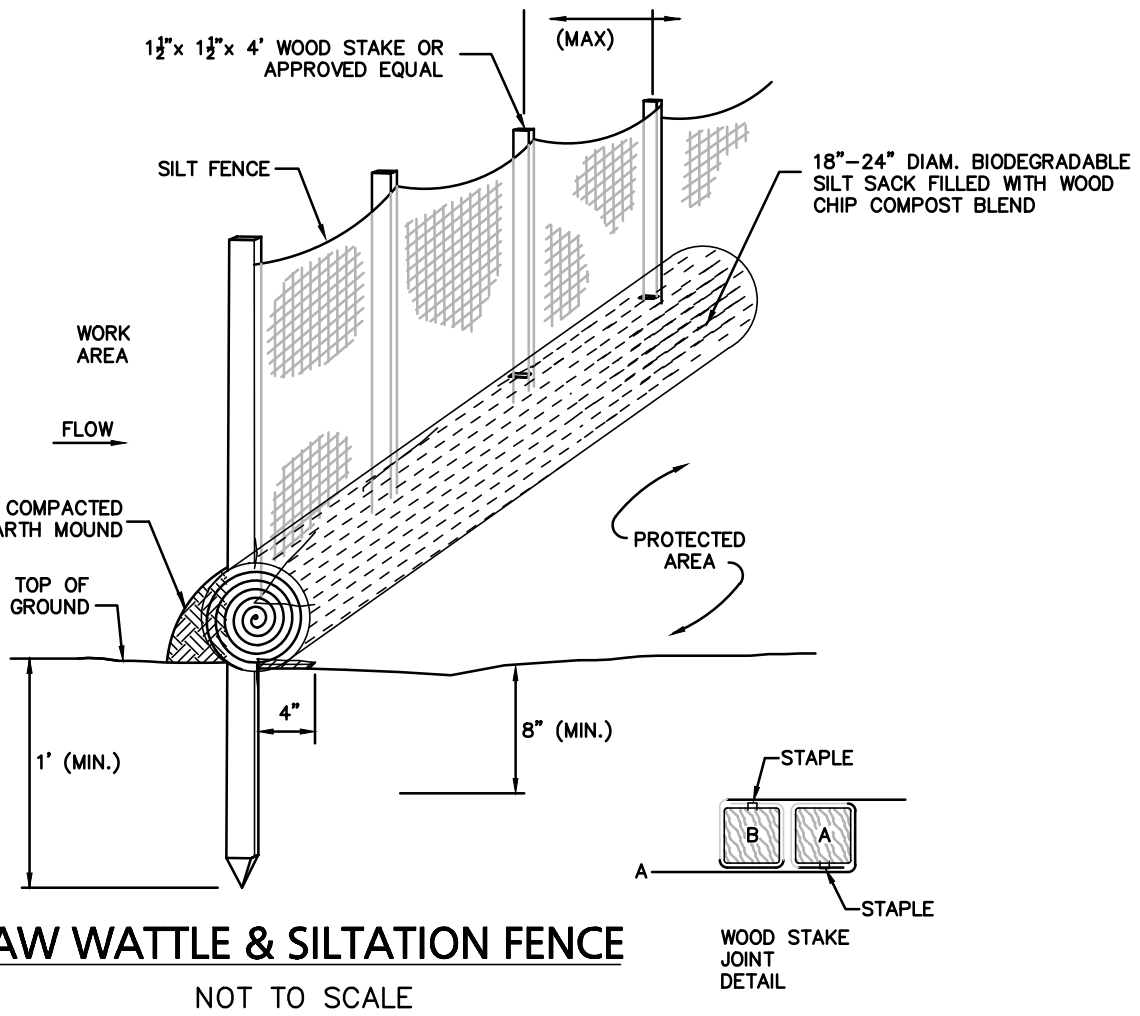
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 CHALFONT, PA 18811-0000
 MT. LAUREL, NJ 08054-2000
 MANASSAS, VA 20108-0001
 LONG ISLAND, NY 11759-2000
 ROCKY HILL, CT 06152-0000



LEGEND - EROSION CONTROL & DEMOLITION PLAN

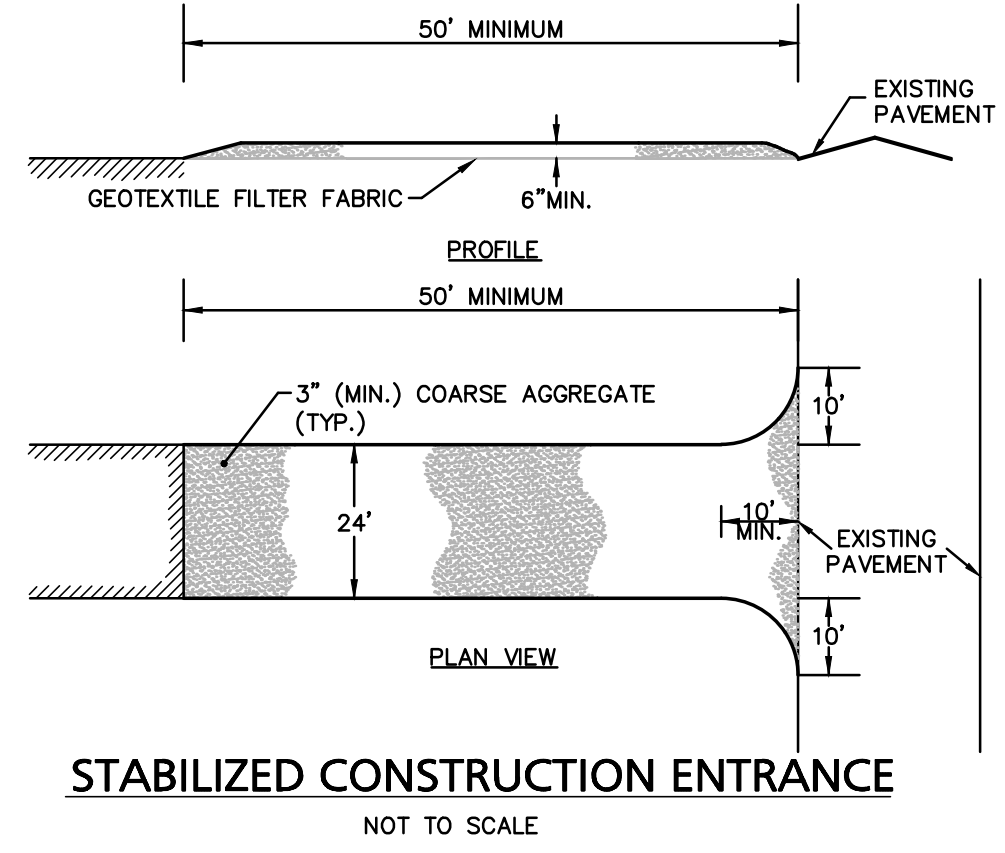
PROPERTY LINE	—————
PROPOSED HAYBALE & SILTATION FENCE	-----

- DEMOLITION NOTES:**
- EXISTING STRUCTURES ON SITE AND ALL ASSOCIATED APPURTENANCES ARE TO BE REMOVED OR DEMOLISHED. THE CONTRACTOR IS RESPONSIBLE FOR THE STOCKPILING AND REMOVAL OF ALL MATERIAL DURING DEMOLITION PROCESSES.
 - EXISTING UTILITIES SHOWN ON THIS PLAN WERE DETERMINED FROM VISIBLE STRUCTURES AND PLANS OF RECORD WHERE AVAILABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE CUTTING, CAPPING, AND REMOVAL OF ALL EXISTING UTILITIES ASSOCIATED WITH EXISTING INFRASTRUCTURE. ANY ADDITIONAL UTILITY INFORMATION DIFFERING FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

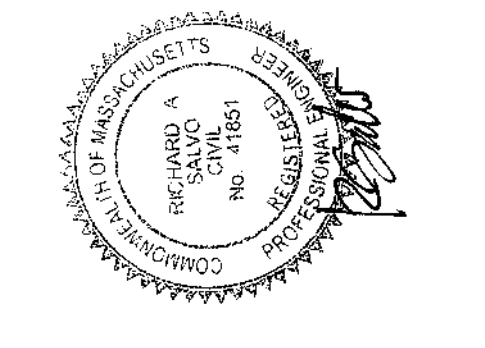


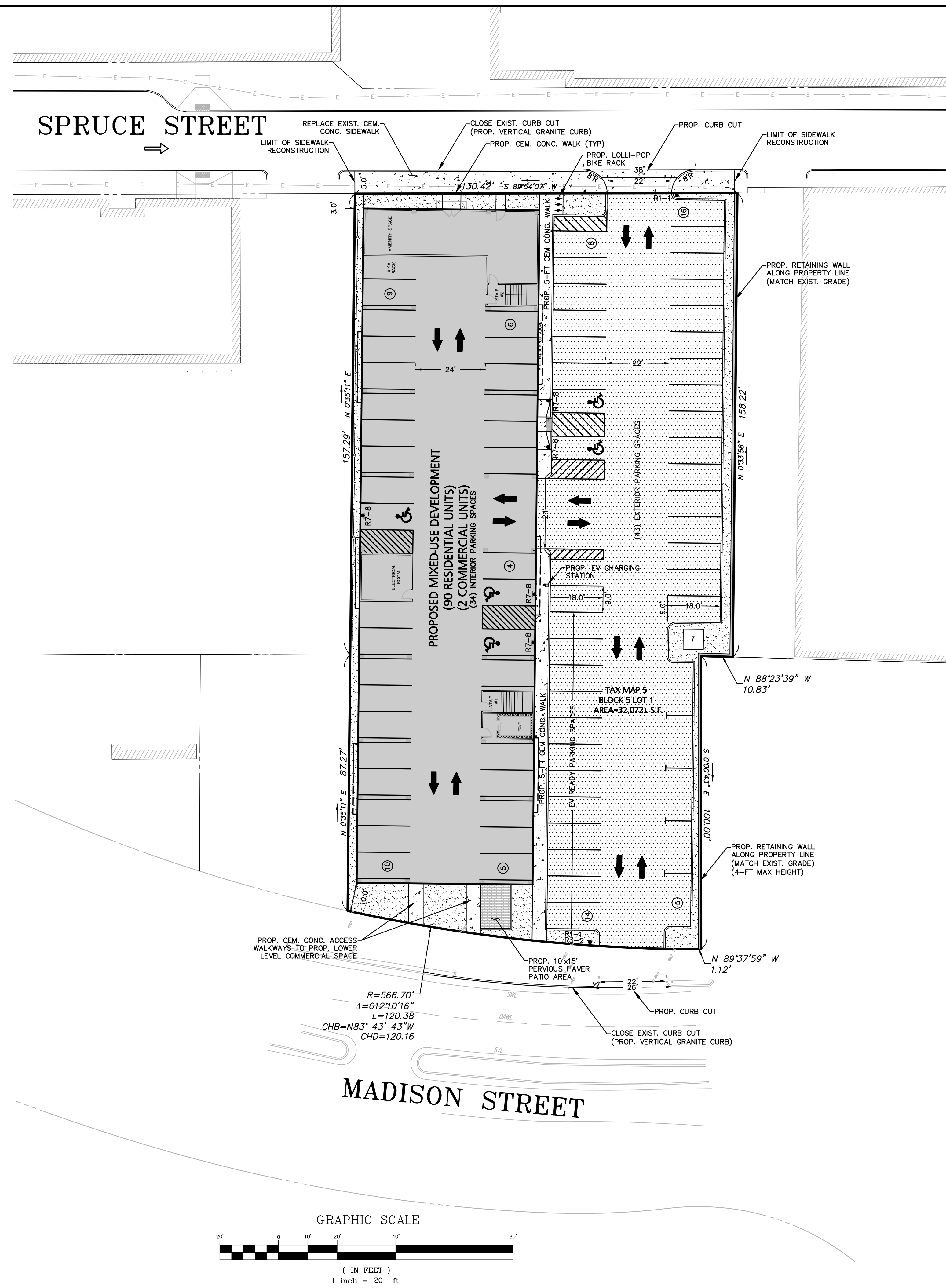
- NOTES:**
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILTSACK.
 - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

- CONSTRUCTION SPECIFICATIONS:**
- STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE (MIN.), RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 - THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 - THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
 - GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



<p>APPLICANT:</p> <p>Rossi Development 345 Boylston Street Suite 300 Newton, MA 02459</p>	<p>DRAWING TITLE:</p> <p>Erosion Control Plan</p>	<p>DWG. NO.</p> <p>C-2</p>	<p>DATE:</p> <p>December 9, 2024</p>	<p>PROJECT #:</p> <p>24-61422</p>	<p>SCALE:</p> <p>AS NOTED</p>	<p>CHECKED BY:</p> <p>Richard A. Salvo, P.E.</p>	<p>DESCRIPTION OF REVISION</p>		
								<p>DATE:</p> <p>December 9, 2024</p>	<p>DWG FILE NAME:</p> <p>24-61422.dwg</p>
								<p>DESIGN BY:</p> <p>Eric Bradanese, P.E.</p>	
<p>PROJECT:</p> <p>Proposed Site Plan Lot 3B Madison Street Worcester, Massachusetts</p>		<p>PREPARED BY:</p> <p>Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 194 Central Street Saugus, MA 01906 Tel: (603) 610-7100 Fax: (603) 610-7101</p>		<p>DATE:</p>		<p>DESCRIPTION OF REVISION</p>			





LEGEND - SITE LAYOUT PLAN	
PROPERTY LINE	—————
EXISTING BUILDING	▨▨▨▨▨▨▨▨▨▨
EXISTING EDGE OF PAVEMENT	▬▬▬▬▬▬▬▬▬▬
EXISTING CURB	▬▬▬▬▬▬▬▬▬▬
PROPOSED CURB	▬▬▬▬▬▬▬▬▬▬
PROPOSED BUILDING	▨▨▨▨▨▨▨▨▨▨
PROPOSED BIT. CONC. PAVEMENT	▨▨▨▨▨▨▨▨▨▨
PROPOSED LANDSCAPE AREA	▨▨▨▨▨▨▨▨▨▨
PROPOSED STRIPING	▬▬▬▬▬▬▬▬▬▬
COMPACT SPACES (8'x18')	Ⓢ Ⓢ

LAND USAGE TABLE			
BG 6.0 GENERAL BUSINESS ZONING DISTRICT / COMMERCIAL CORRIDORS OVERLAY DISTRICT			
ITEM	REQUIRED (BG-6.0)	REQUIRED (CCOD)	PROVIDED
MINIMUM LOT AREA	5,000 S.F.	-	32,072 ± S.F.
MINIMUM LOT FRONTAGE	40 PER DU UP TO 200 FT	-	130.42 FT
MIN REGULARITY FACTOR	0.40	-	0.88
MAX FLOOR AREA RATIO	6:1	-	2.23
MINIMUM FRONT YARD SETBACK (SPRUCE ST.)	-	-	5 FT
MINIMUM SIDE YARD SETBACK	-	-	3 FT
MINIMUM REAR YARD SETBACK	-	-	N/A FT
MAXIMUM HEIGHT	-	-	66.5 FT

PARKING CALCULATIONS		
COMPONENT	REQUIRED	PROPOSED
90 RESIDENTIAL UNITS	0 SPACES	72 STANDARD (9'x18)
2 RETAIL UNITS	NO PARKING REQUIRED IN BG-6.0 ZONING DISTRICT	5 ACCESSIBLE
TOTAL	0 SPACES	77 SPACES

PER 521 CMR 23.2.1 PARKING LOTS WITH 76-100 SPACES REQUIRE 4 ACCESSIBLE SPACES.

SIGN TABLE					
REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (ROUND TO BOTTOM OF SIGN)	DESCRIPTION	REFLECTORIZED
R7-8		12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	YES
R1-1		24" x 24"	7' - 0"	WHITE ON RED	YES
R3-2		24" x 24"	7' - 0"	BLACK & RED ON WHITE	YES

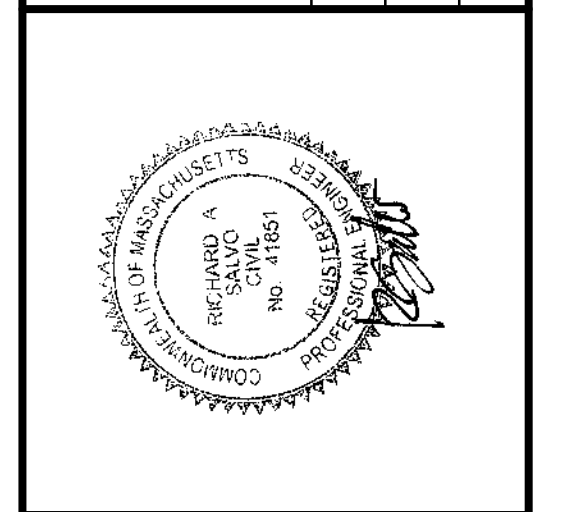
ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

REVISION	DATE	DESCRIPTION OF REVISION
12-30-24		

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Portsmouth, NH 03801
 Tel: (603) 610-7100
 Fax: (603) 610-7101

Proposed Site Plan
 Lot 3B Madison Street
 Worcester, Massachusetts

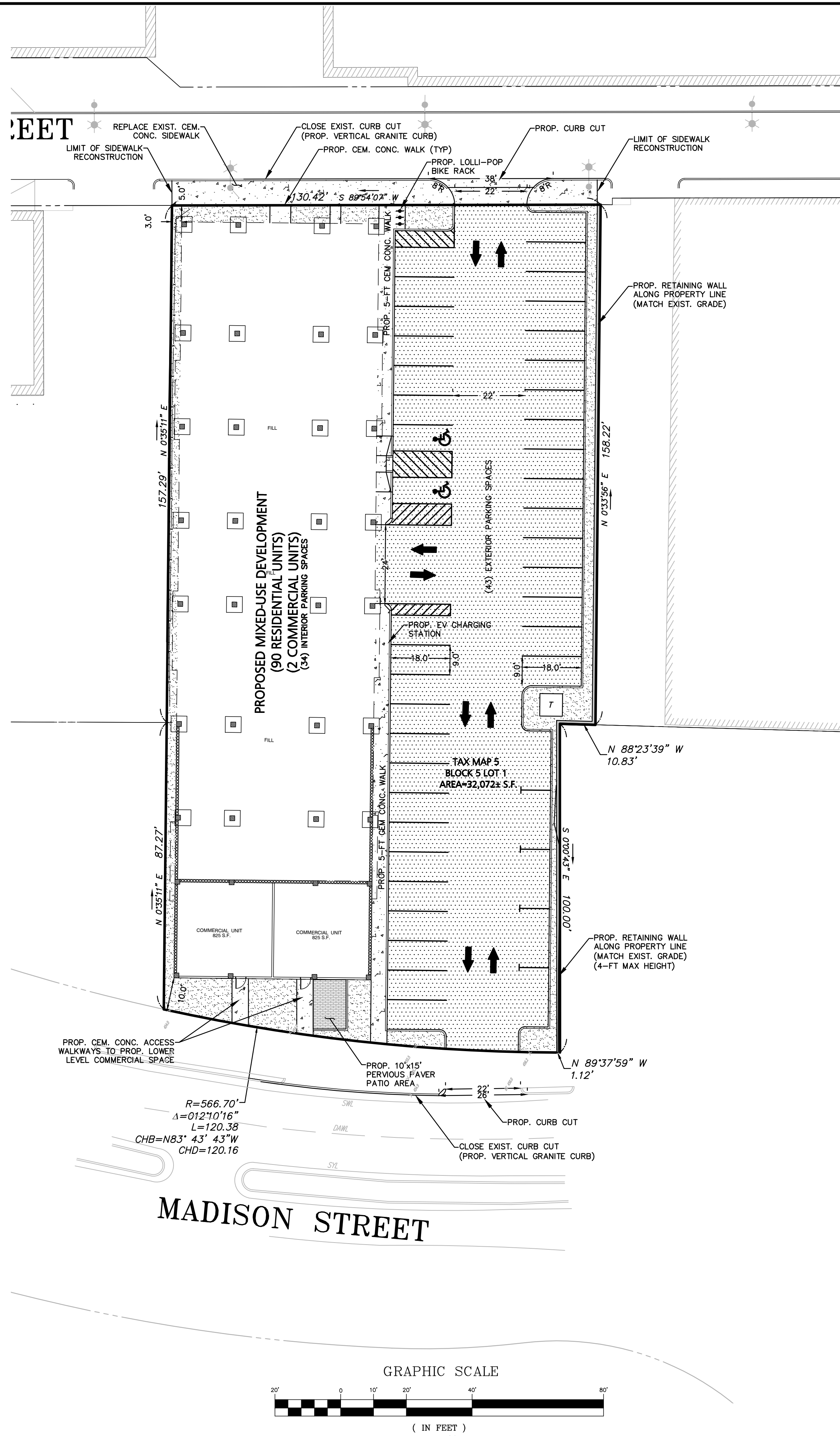
PROJECT # 24-61422
 DATE: December 9, 2024
 DWG FILE NAME: 24-61422.dwg
 SCALE: AS NOTED
 CHECKED BY: Richard A. Salvo, P.E.



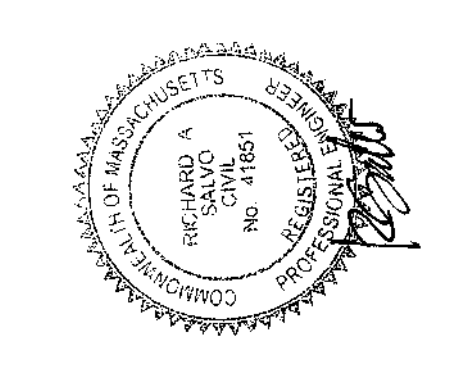
Rossi Development
 345 Boylston Street Suite 300
 Newton, MA 02459

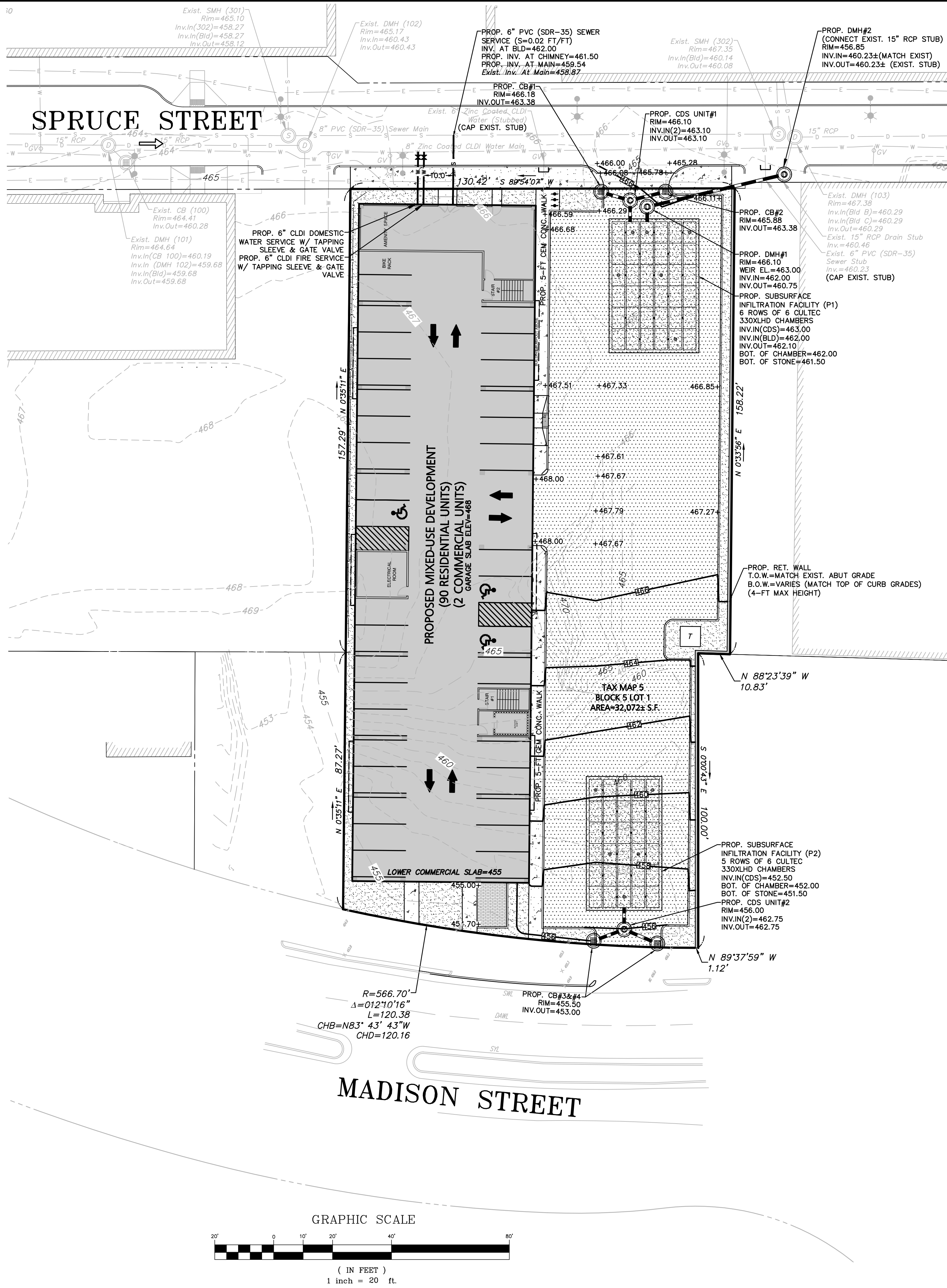
Upper Level Site Layout Plan

DWG. NO. C-3



APPLICANT: Rossi Development 345 Boylston Street Suite 300 Newton, MA 02459	DWG. NO. C-3A	DRAWING TITLE: Lower Level Site Layout Plan
	PROJECT: Proposed Site Plan Madison Street Worcester, Massachusetts	
PREPARED BY: Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 194 Central Street Saugus, MA 01906 Tel: (781) 231-1349 Fax: (781) 417-0020	DATE 12/30/24	DESCRIPTION OF REVISION
PROJECT #: 24-61422	DATE: October 15, 2024	
SCALE: AS NOTED	DWG FILE NAME: xxxx.dwg	
DESIGN BY: Eric Bradanes, P.E.	CHECKED BY: Richard A. Salvo, P.E.	





LEGEND - GRADING, DRAINAGE & UTILITY PLAN	
PROPERTY LINE	---
PROPOSED BUILDING	▬
PROPOSED CURB LINE	▬
EXISTING CONTOUR	--- 465 ---
EXISTING SEWER LINE	— S — S — S — S —
EXISTING SEWER MANHOLE	⊙
EXISTING WATER LINE	— W — W — W — W —
EXISTING WATER GATE	⊗
EXISTING HYDRANT	⊕
EXISTING DRAIN LINE	— D — D — D — D —
EXISTING DRAIN MANHOLE	⊙
EXISTING ELECTRIC LINE	— E — E — E — E —
EXISTING LIGHT POLE	⊙
PROPOSED CONTOUR	--- 466 ---
PROPOSED SEWER LINE	— S — S — S — S —
PROPOSED WATER LINE	— W — W — W — W —
PROPOSED WATER GATE	⊗
PROPOSED DRAIN LINE	— D — D — D — D —
PROPOSED DRAIN MANHOLE	⊙
PROPOSED CDS UNIT	⊙
PROPOSED CATCH BASIN	⊙
PROPOSED BIT. CONC. PAVEMENT	▨

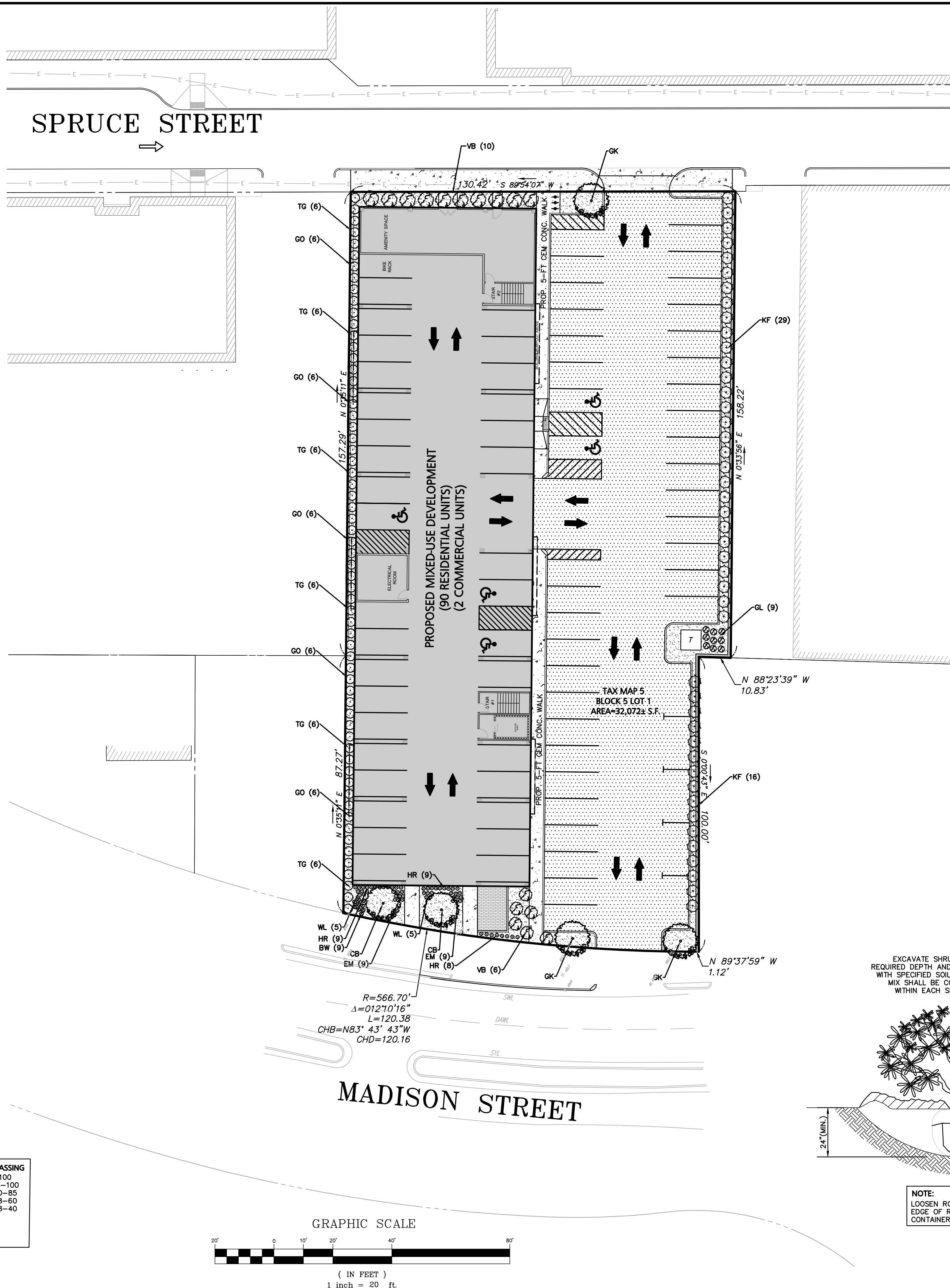
GENERAL UTILITY NOTES:

- ALL EXISTING SITE FEATURES SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
- DATUM: NAVD88
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF WORCESTER, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE CITY OF WORCESTER D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
- ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY EXISTING STRUCTURES AND/OR UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
- DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AN AUTOCAD "AS-BUILT" TO THE ENGINEERING DEPT. UPON COMPLETION OF THE BUILDING & UTILITY WORK.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF WORCESTER ENGINEERING DEPARTMENT IMMEDIATELY IF ANY CHANGES OCCUR TO THE APPROVED PLAN.
- ALL H.D.P.E. AND PVC UTILITY PIPING SHALL BE INSTALLED WITH 3" STONE BEDDING AND COVER.
- THE PROJECT PROPONENT IS RESPONSIBLE TO PROVIDE ANY NECESSARY UPGRADES TO CITY UTILITIES THAT ARE DIRECTLY IMPACTED BY THE PROJECT.

GENERAL DRAINAGE NOTES:

- ALL CATCH BASINS SHALL BE EQUIPPED WITH A HOOD AND 4-FT MIN. SUMP.
- ALL STORM DRAINAGE PIPES SHALL BE 12" MIN. HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE SMOOTH INSIDE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10-FT OF THE BUILDING WALLS.
- ALL ROOF DRAINAGE SHALL BE INFILTRATED VIA THE SUB-SURFACE DRAINAGE SYSTEM. CONNECTION POINTS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.

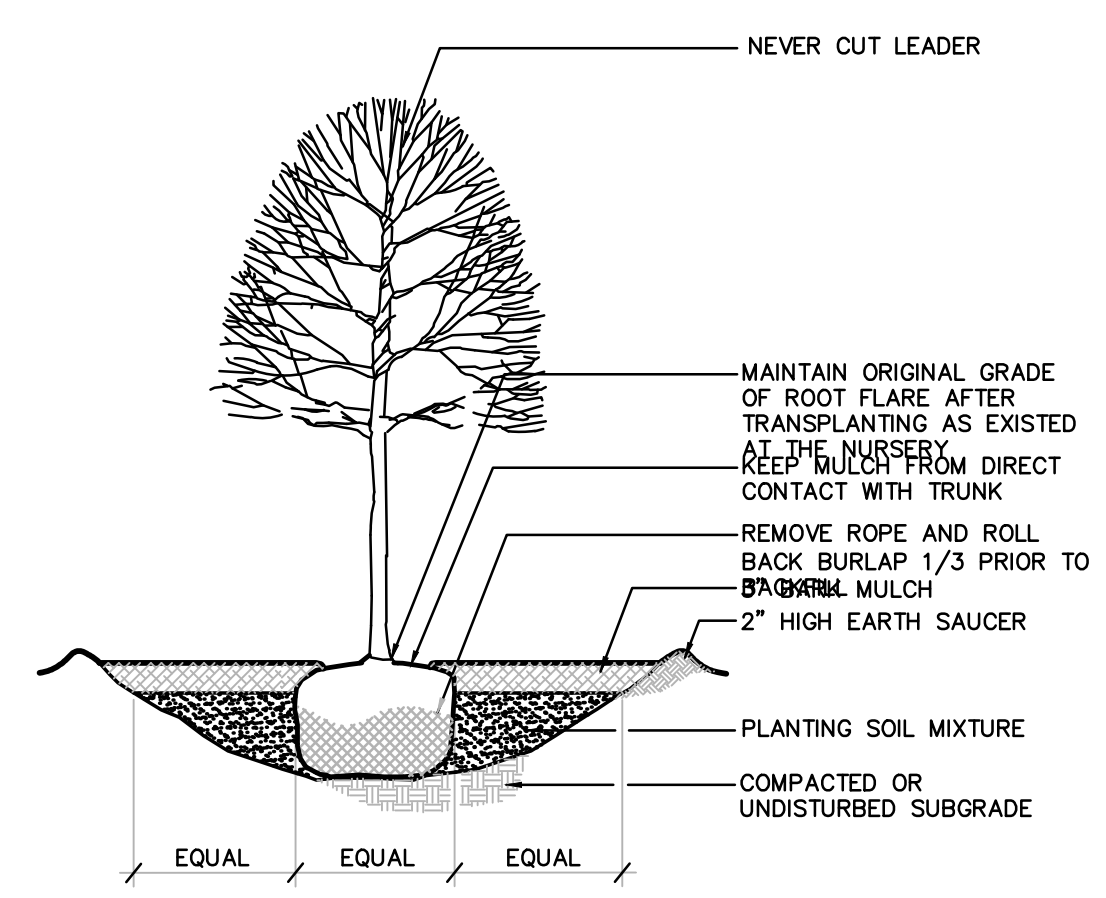
<p>Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 194 Central Street Saugus, MA 01906 Tel: (781) 231-1349 Fax: (781) 417-0020</p>		<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION OF REVISION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION OF REVISION			
NO.	DATE	DESCRIPTION OF REVISION						
<p>PREPARED BY:</p>	<p>PROJECT:</p> <p>Proposed Site Plan Lot 3B Madison Street Worcester, Massachusetts</p>	<p>DATE: December 9, 2024</p> <p>DWG FILE NAME: 24-61422.dwg</p> <p>CHECKED BY: Richard A. Salvo, P.E.</p>						
<p>APPLICANT:</p> <p>Rossi Development 345 Boylston Street Suite 300 Newton, MA 02459</p>	<p>DRAWING TITLE:</p> <p>Grading, Drainage & Utility Plan</p>	<p>DWG. NO.:</p> <p>C-4</p>						



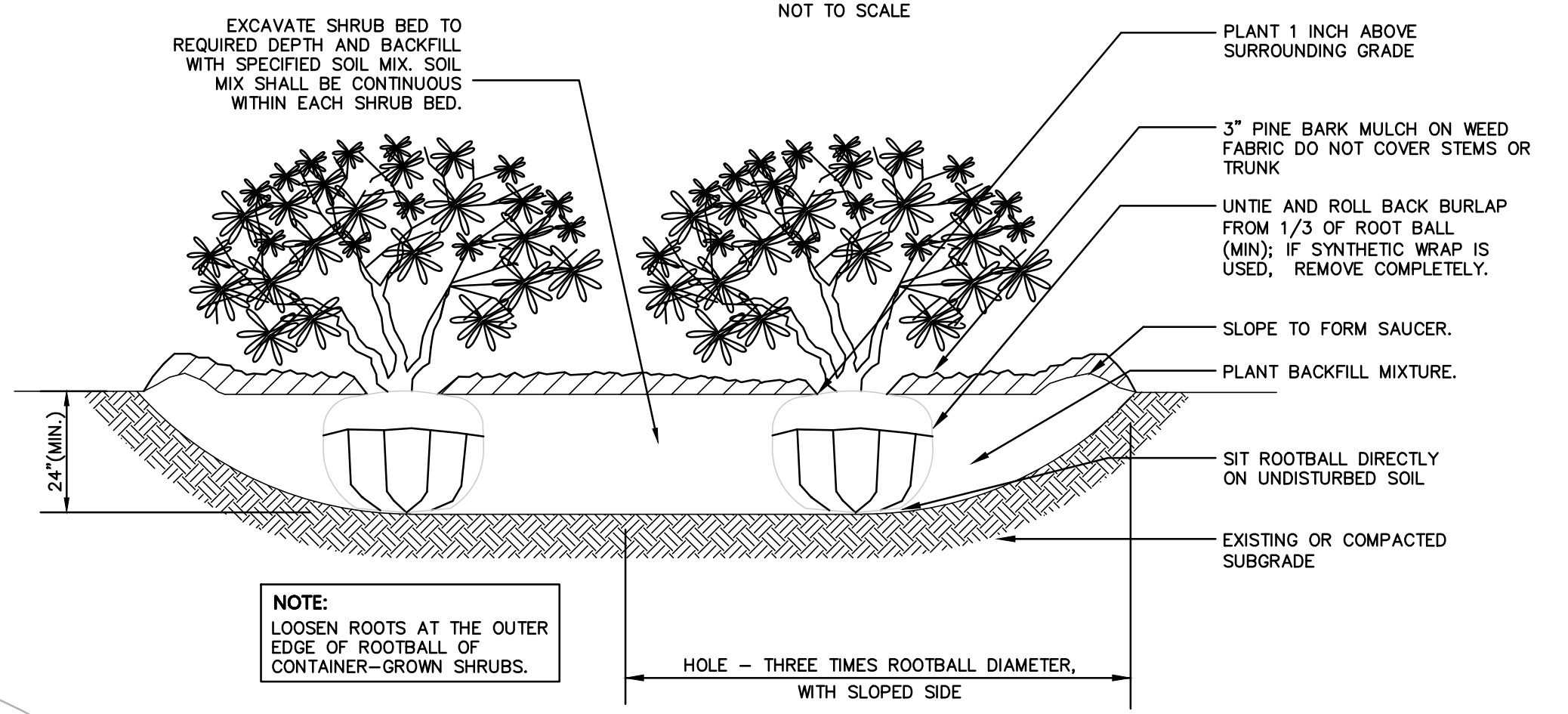
LEGEND

Key	Qty.	Botanical/Common Name	Size	Root
Trees				
GK	3	Ginkgo biloba / 'Ginkgo'	2.5-3" c.	BxB
CB	2	Carpinus betulus / 'Frans Fontaine' (Columnar hornbeam)	2.5-3" c.	BxB
Shrubs				
TG	36	Taxus media / 'Greenwave'	15-18"	cont.
VB	16	Viburnum dentatum / 'Blue Muffin'	3-5gal	cont.
GO	30	Juniperus virginiana / 'Grey Owl'	2-3gal	cont.
GL	9	Rhus aromatic / 'Grow Low'	2-3gal	cont.
Perennials				
KF	45	Calamagrostis / 'Kari Foerster'	2gal	cont.
HR	26	Hemerocallis / 'Happy Return' daylily	1qt	cont.
WL	10	Nepeta / 'Walkers Low' catmint	1qt	cont.
EM	18	Echinacea purpurea / 'Mangus' purple coneflower	1qt	cont.
BW	9	Amsonia hibriditii / butterfly weed	1qt	cont.

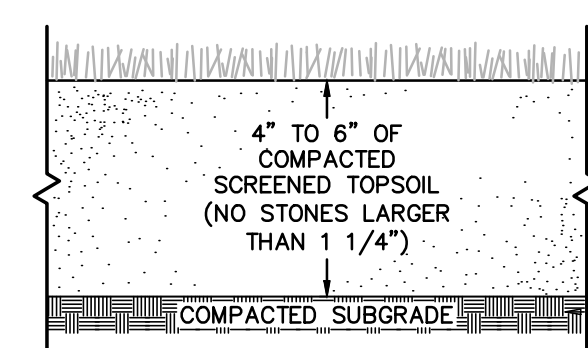
- GENERAL NOTES**
- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
 - The Contractor shall supply all plant material in quantities sufficient to complete the plantings shown on the drawing.
 - All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-1990
 - All plants to be balled in burlap or container grown. No plastic burlap.
 - All roots shall be dusted with appropriate mycorrhizal inoculant product, prior to planting.
 - The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
 - Heal all construction scars with native/naturalized grass, lawn or mulch. Wetland seed mix may be used adjacent to wetland areas.



DECIDUOUS AND FLOWERING TREE DETAIL
NOT TO SCALE



SHRUB BED PLANTING
NOT TO SCALE

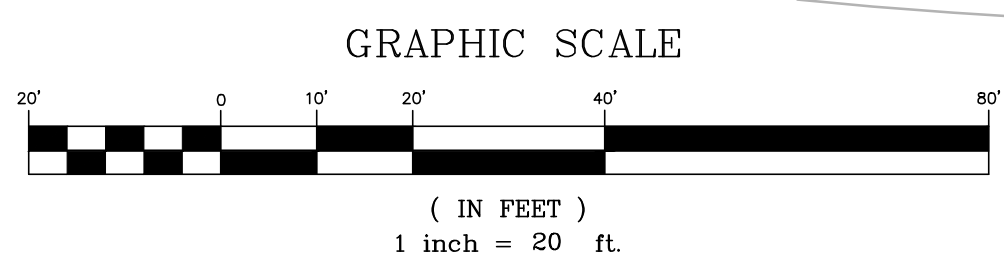


SEEDED LAWN DETAIL
NOT TO SCALE

NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
- TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1 1/4" AND SHALL CONFORM TO THE FOLLOWING GRADATION:
- PLANTING BEDS TO CONTAIN 12" MIN. COMPOSTED LOAM

SIEVE	% PASSING
1 1/4 INCH	100
No. 4	85-100
No. 40	60-85
No. 100	38-60
No. 200	28-40



Proposed Site Plan
Lot 3B Madison Street
Worcester, Massachusetts

Rossi Development
345 Boylston Street Suite 300
Newton, MA 02459

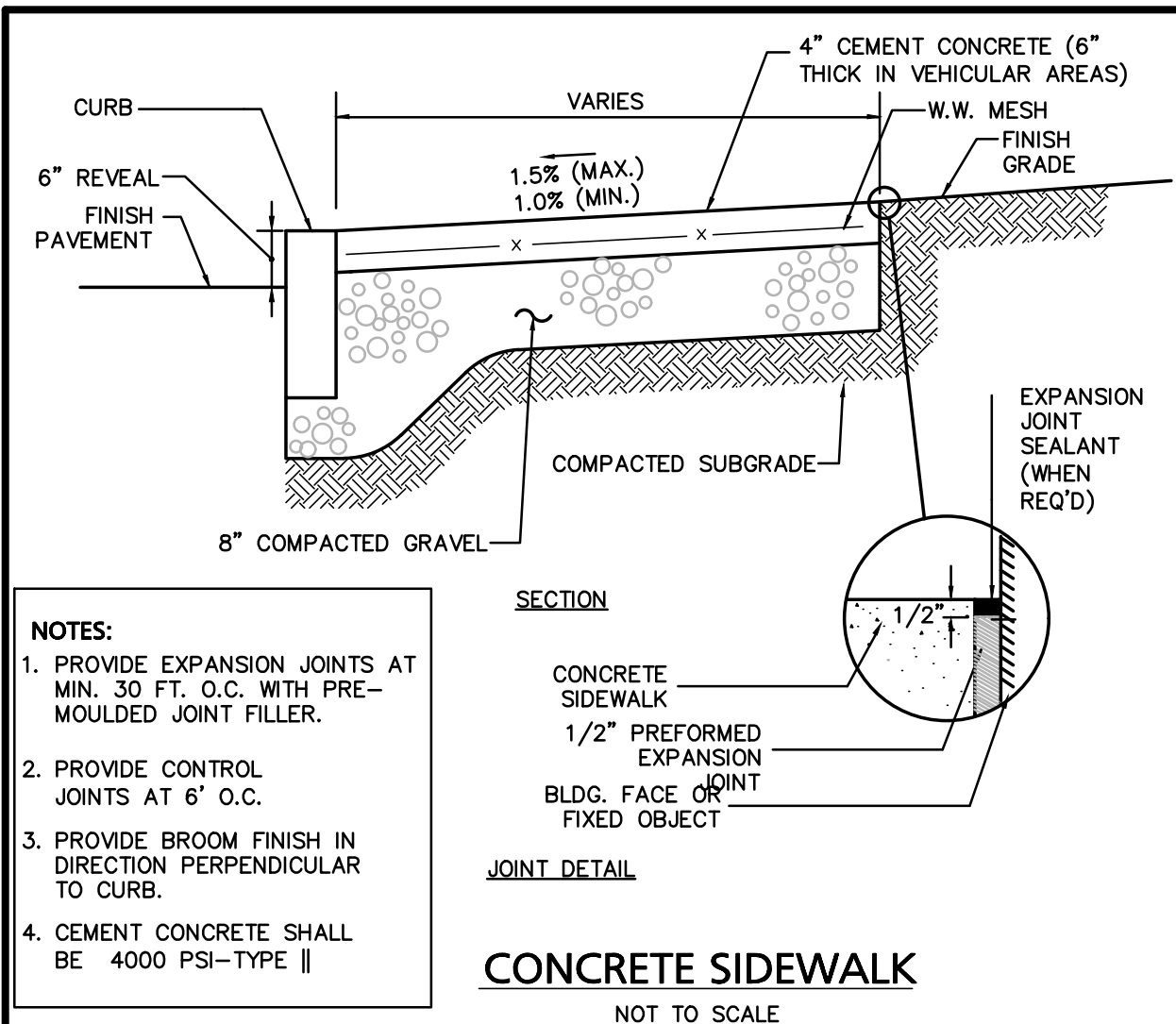
Landscape Plan

PROJECT # : 24-61422
DATE: December 9, 2024
SCALE: AS NOTED
DESIGN BY: Eric Bradness, P.E.

PREPARED BY: **Engineering Alliance, Inc.**
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

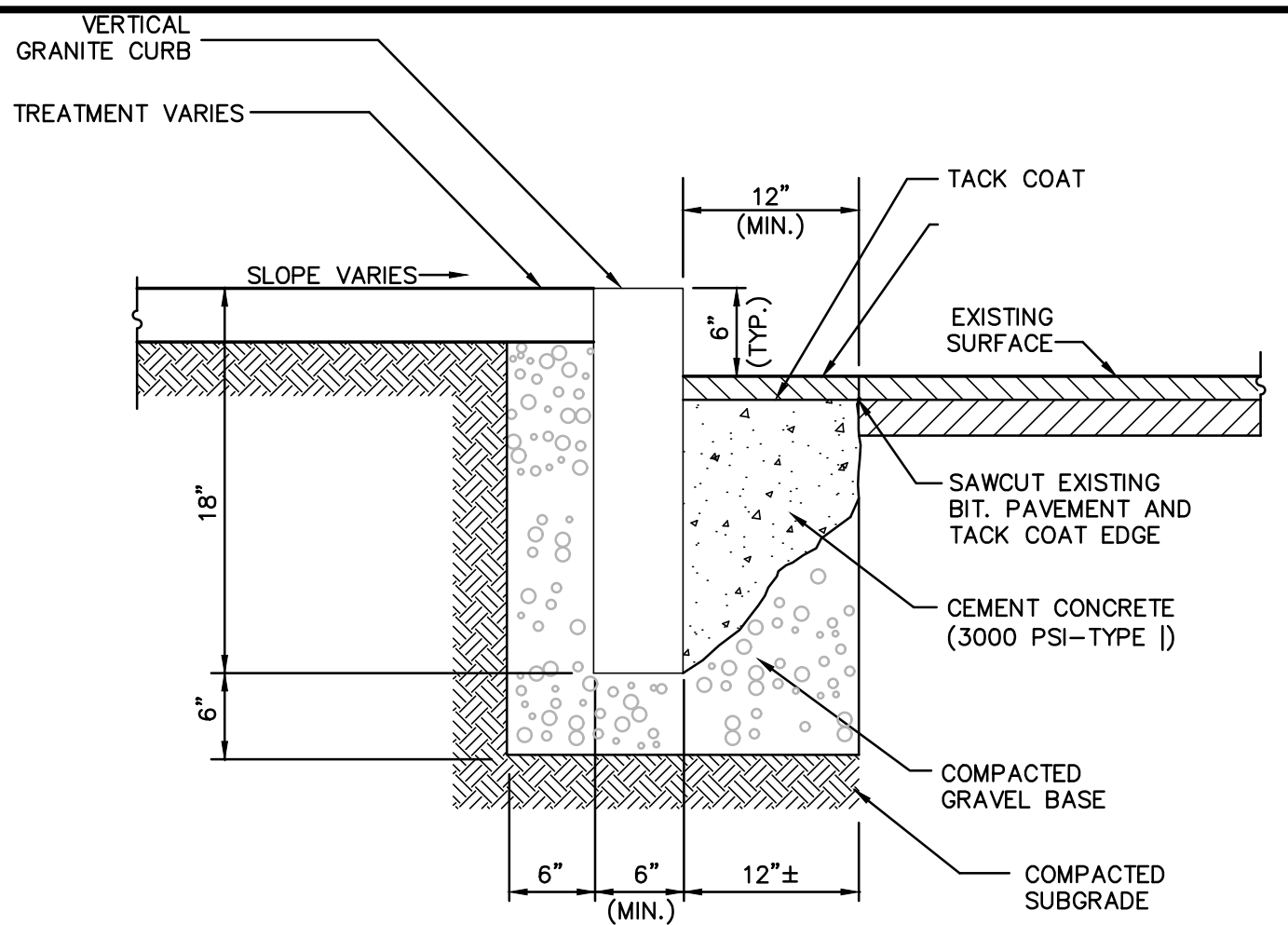
REVISED PER PLANNING STAFF COMMENTS
12-30-24
DATE

APPLICANT: **Rossi Development**
DRAWING TITLE: **Landscape Plan**
DWG. NO.: **L-1**

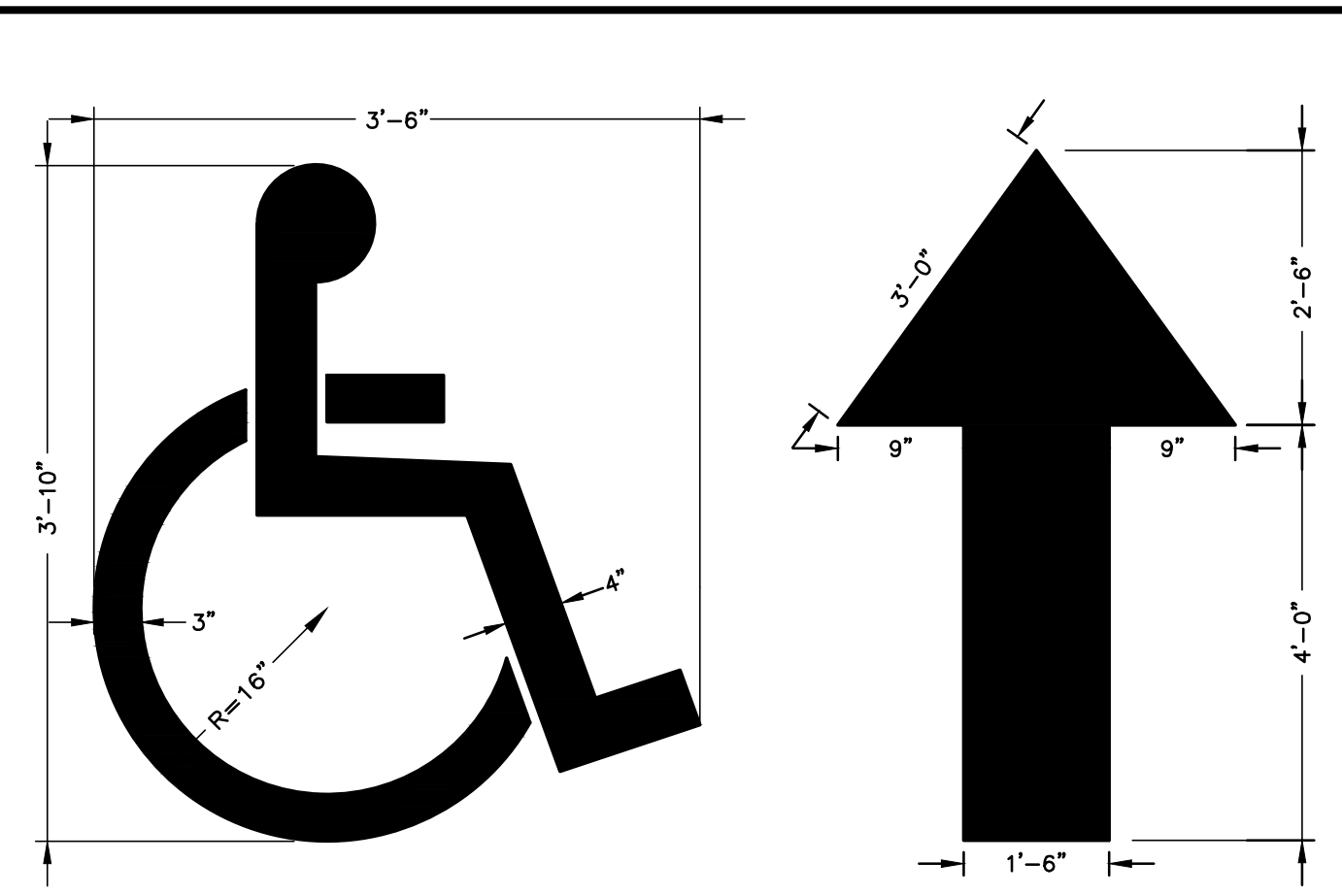


- NOTES:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
 2. PROVIDE CONTROL JOINTS AT 6' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

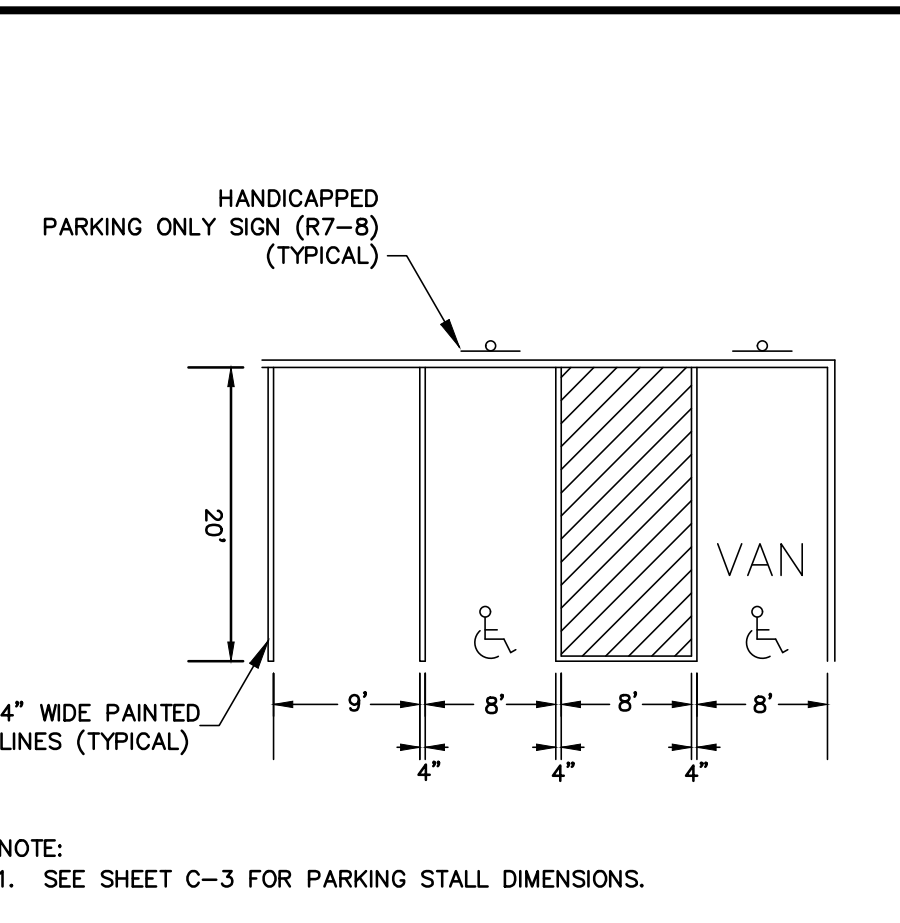
CONCRETE SIDEWALK
NOT TO SCALE



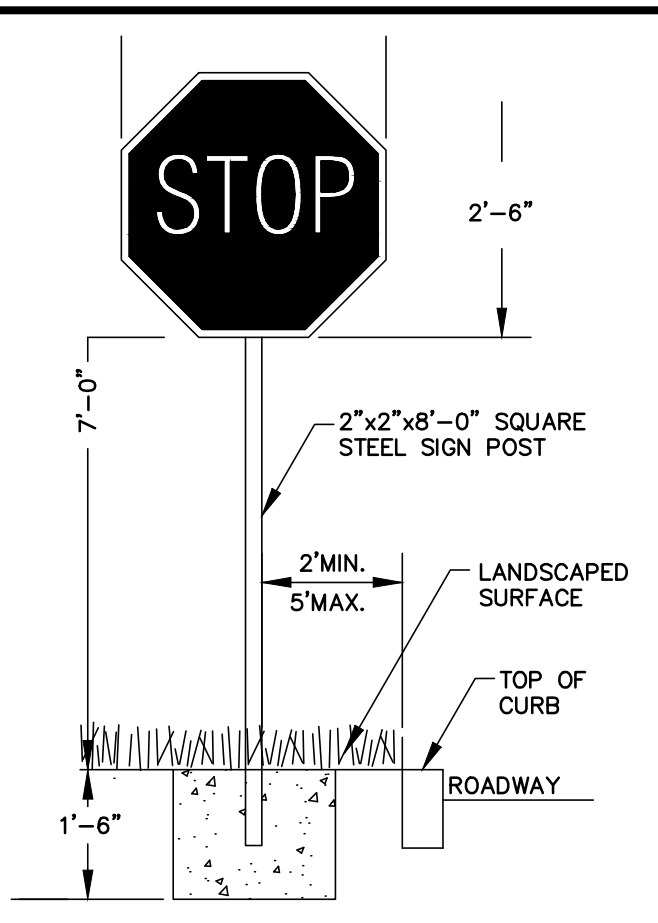
VERTICAL GRANITE CURB SET IN EXISTING PAVEMENT
NOT TO SCALE



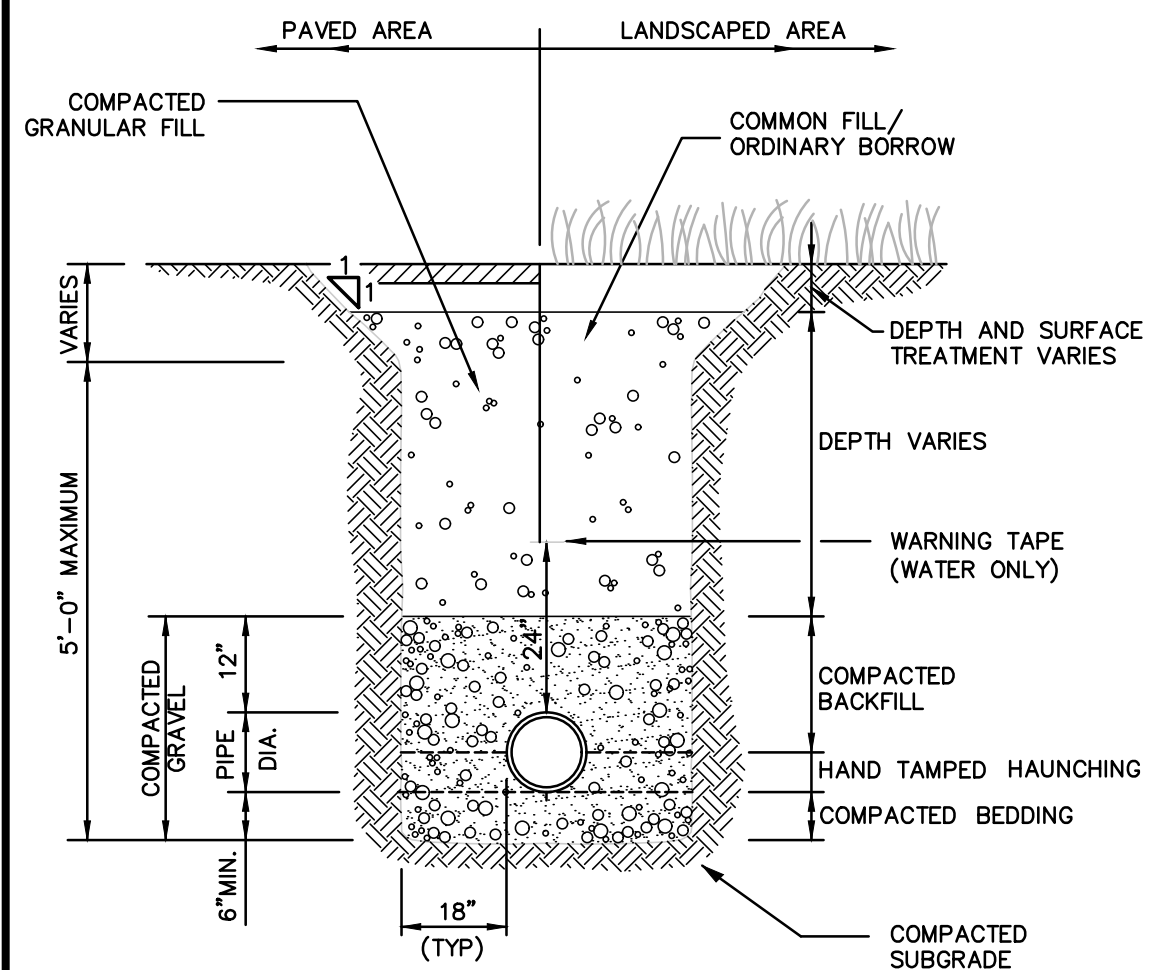
PAINTED HANDICAP SYMBOL & TRAFFIC ARROW DETAIL
NOT TO SCALE



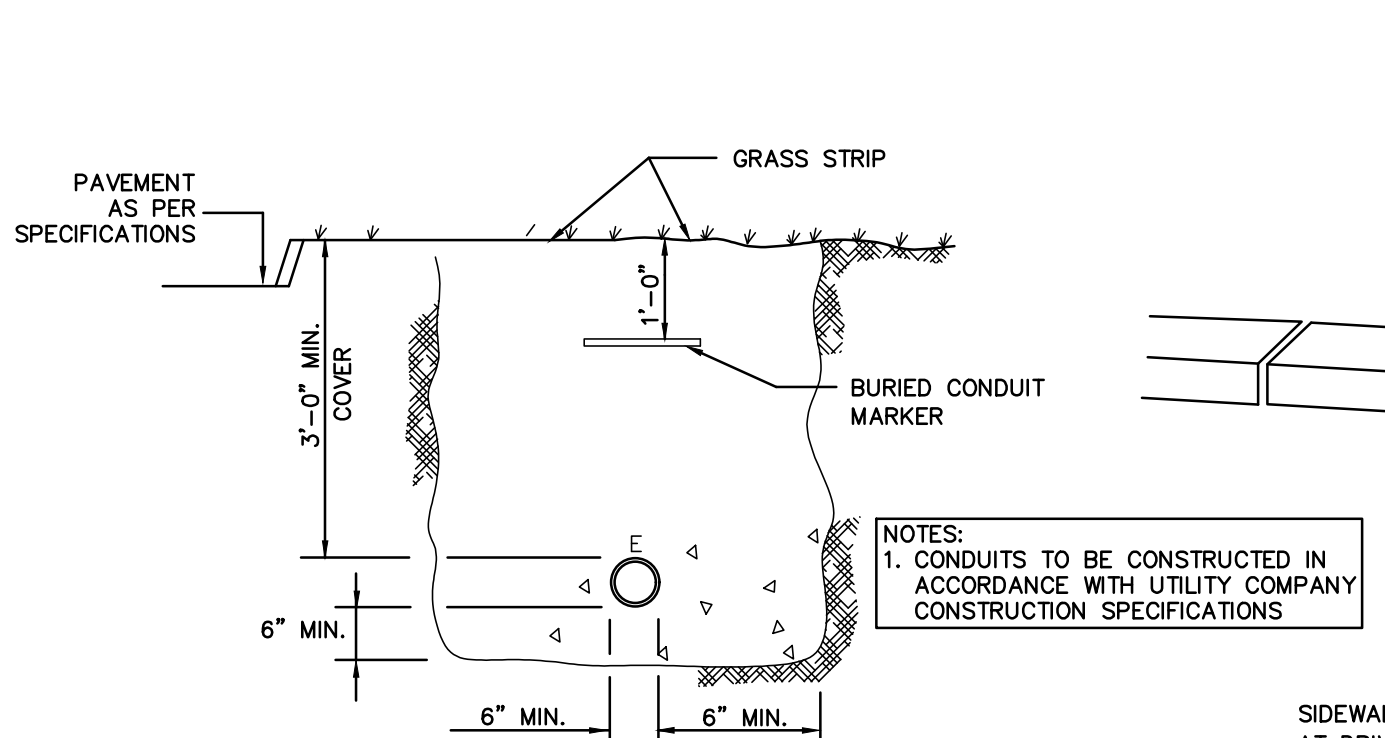
HANDICAP AND STANDARD PARKING DETAIL
NOT TO SCALE



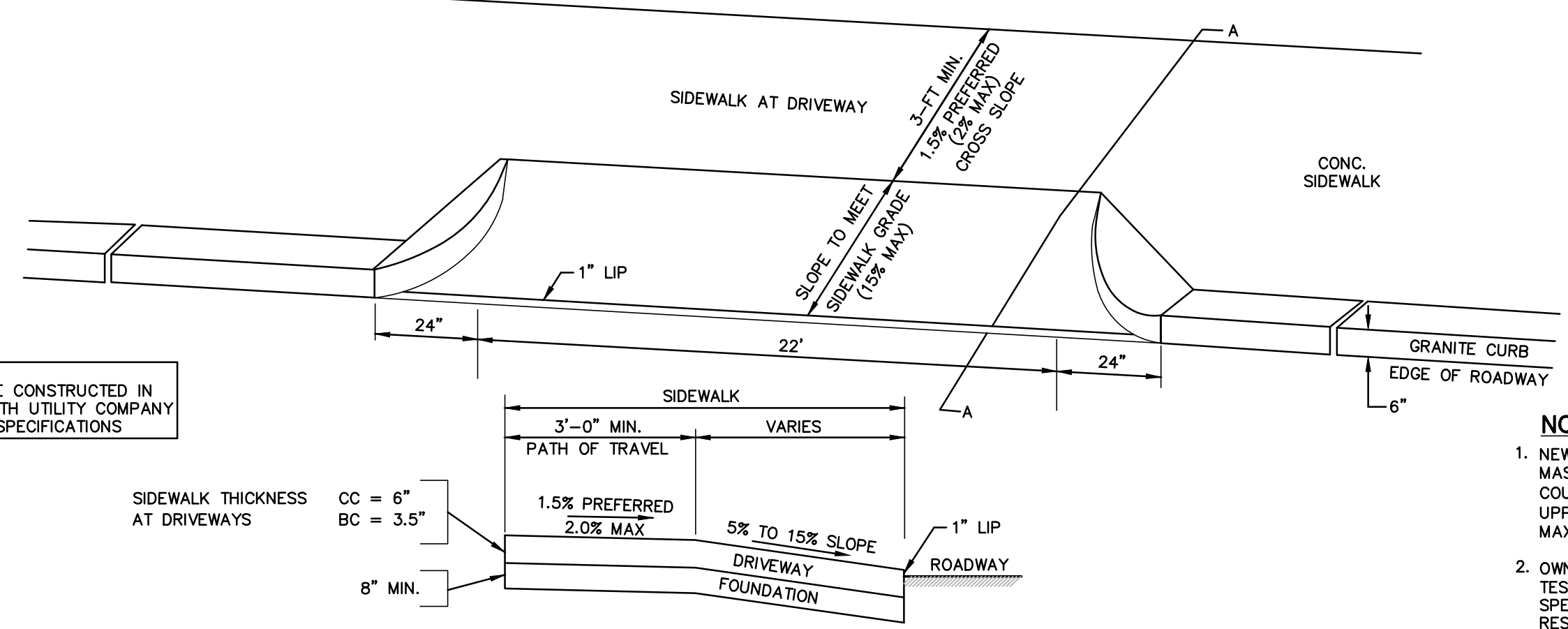
TYPICAL SIGN DETAIL
NOT TO SCALE



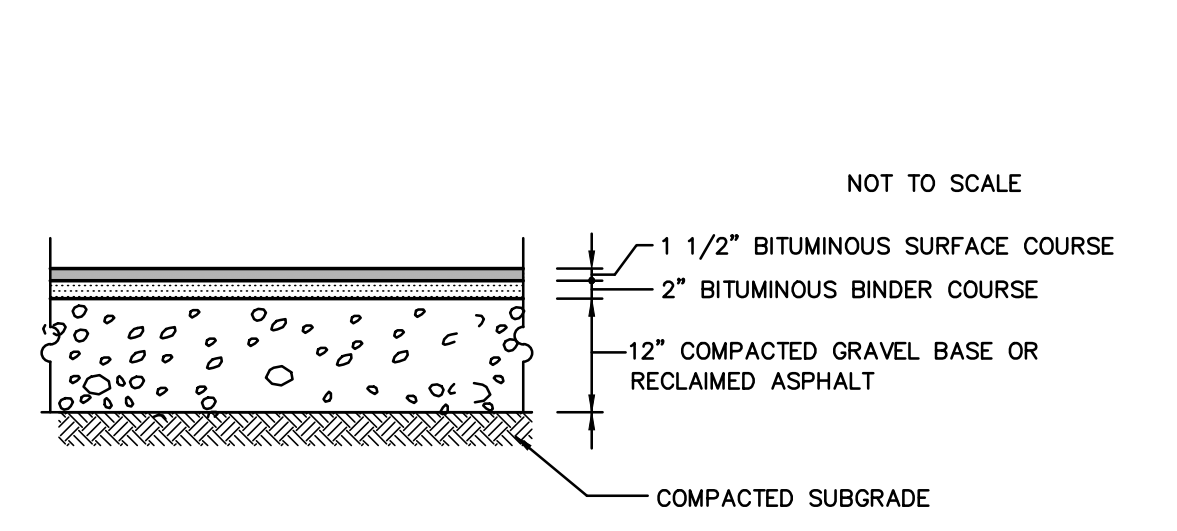
UTILITY TRENCH
NOT TO SCALE



TYPICAL ELECTRIC/TELEPHONE/CABLE UNDERGROUND TRENCH DETAIL
NOT TO SCALE

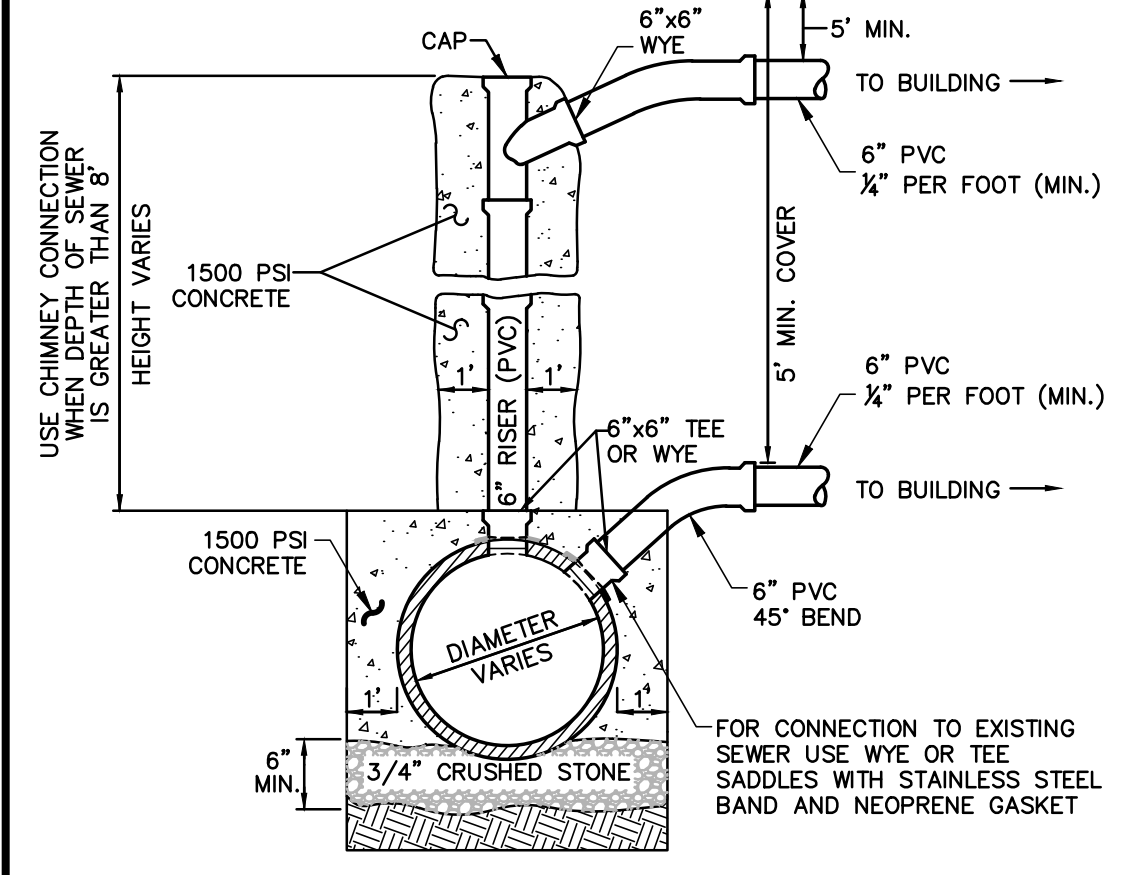


DRIVEWAY DETAIL (GREEN STREET)
NOT TO SCALE

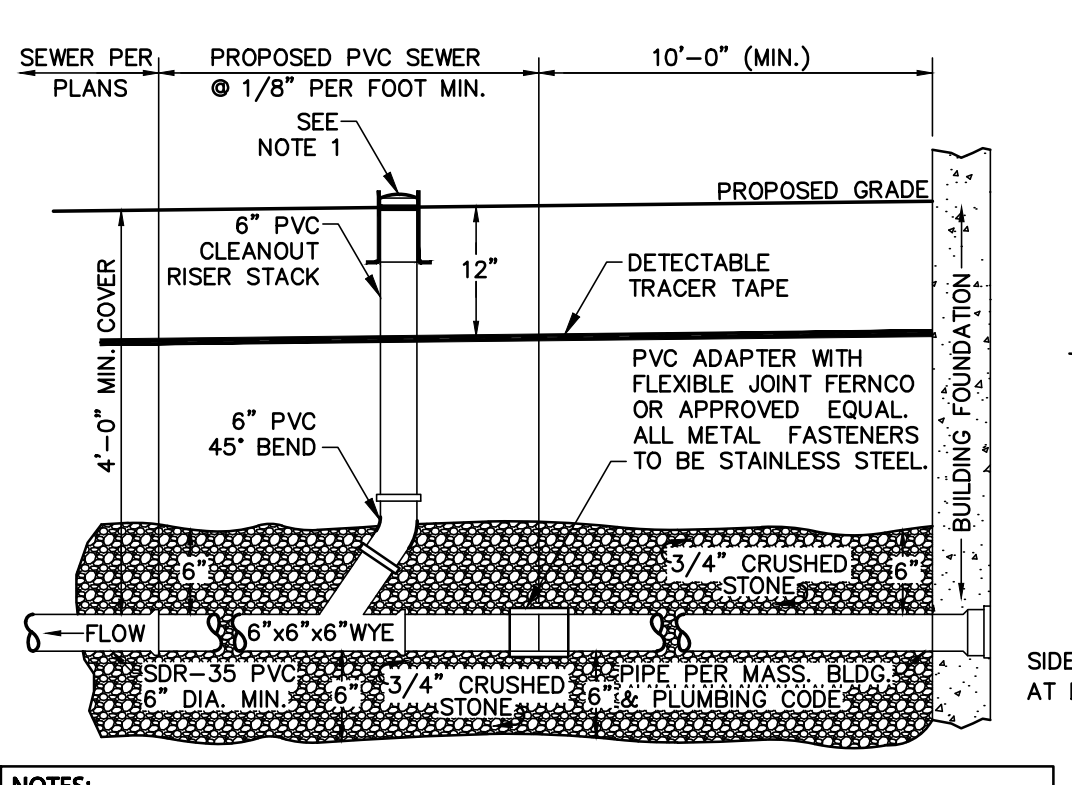


STANDARD PAVEMENT SECTION
NOT TO SCALE

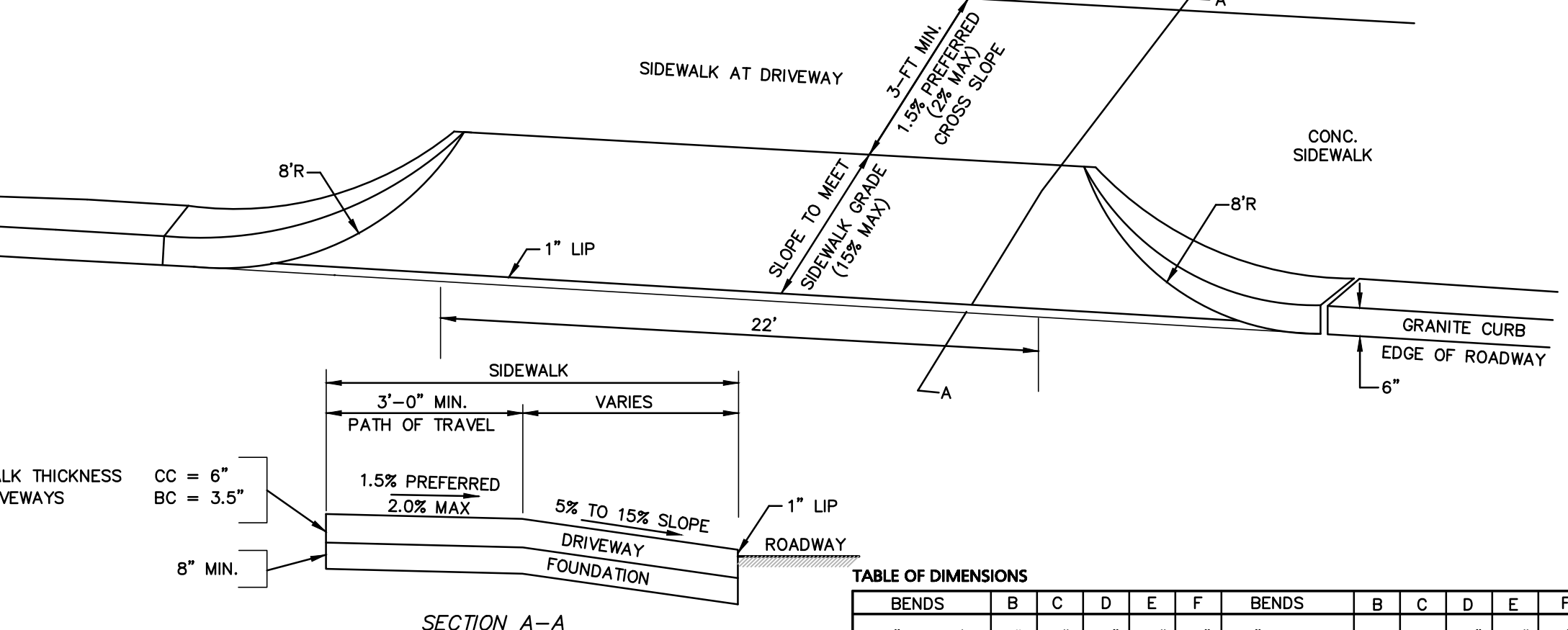
- NOTES:**
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3\"/>
 2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST.
 3. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.



SANITARY SEWER SERVICE AT MAIN
NOT TO SCALE



SANITARY SEWER SERVICE AT BUILDING
NOT TO SCALE



DRIVEWAY DETAIL (SPRUCE STREET)
NOT TO SCALE

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	6"	45"	8"	30"	12"	24"	14"
8"	22 1/2"	-	19"	-	13"	6"	90"	-	30"	-	27"	-
8"	11 1/4"	-	20"	-	12"	8"	45"	-	30"	-	24"	-
8"	22 1/2"	-	22"	-	17"	8"	90"	-	38"	-	36"	-
12"	11 1/4"	-	30"	-	15"	12"	45"	-	40"	-	40"	-
12"	22 1/2"	-	35"	-	25"	12"	90"	-	60"	-	52"	-

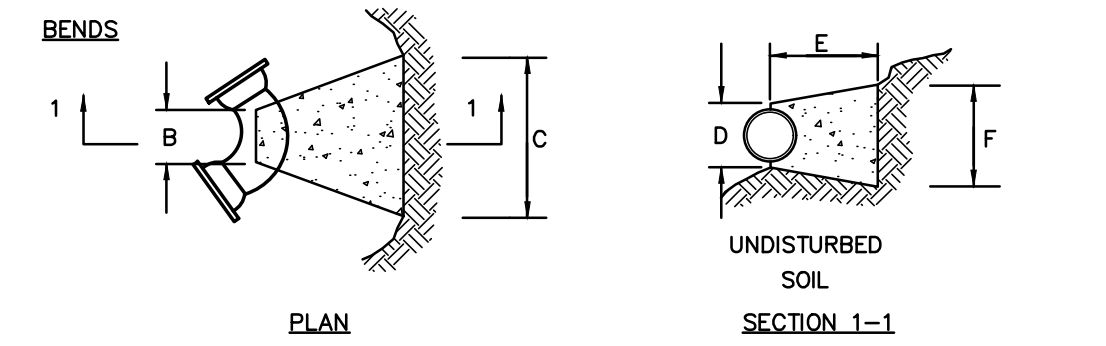
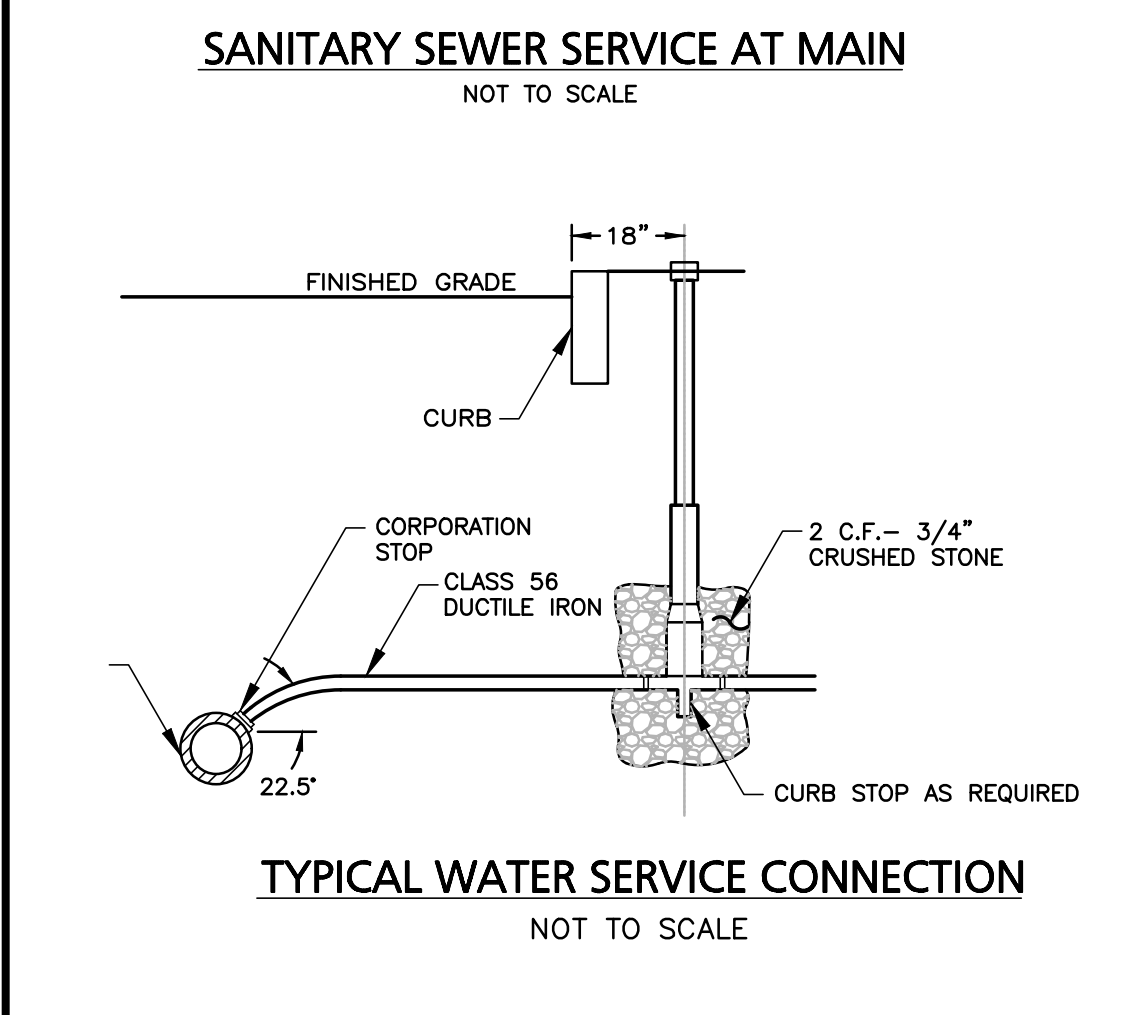


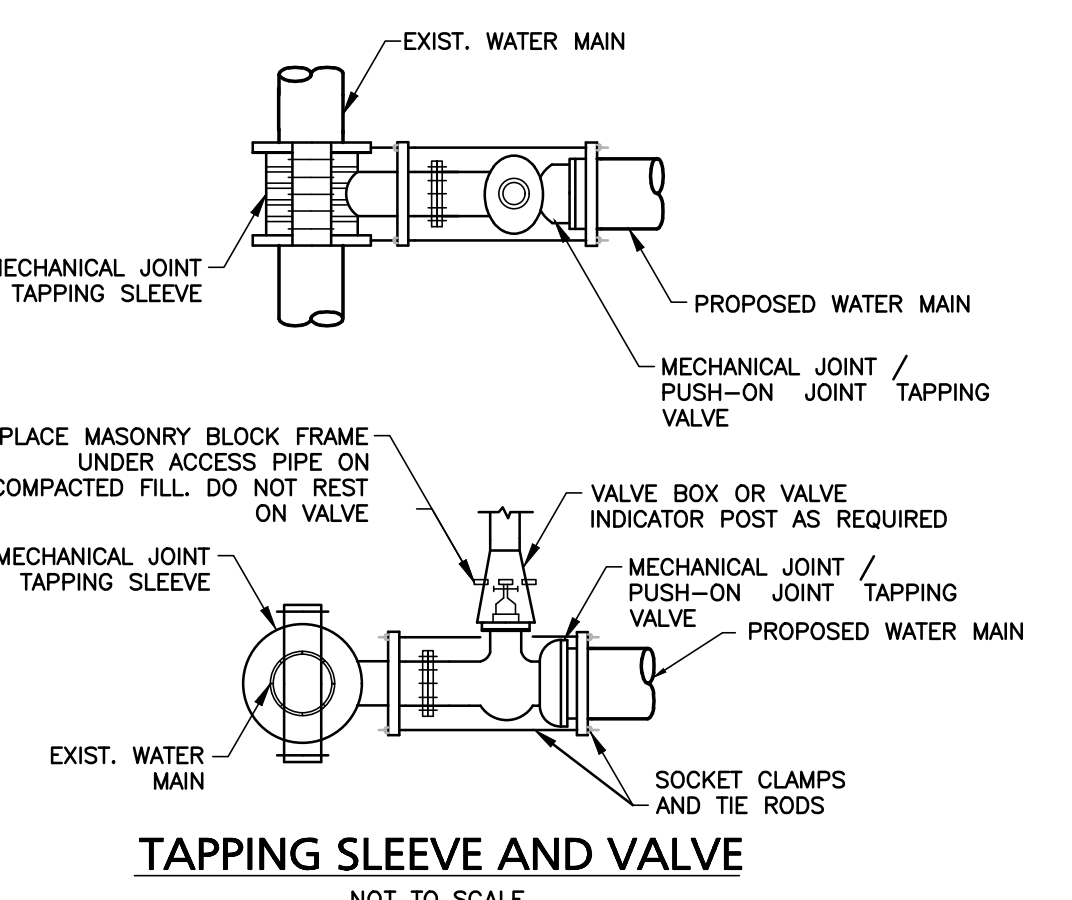
TABLE OF DIMENSIONS

TEES	G	H	I	J	TEES	G	H	I	J
6" x 6" x 6"	12"	24"	24"	18"	12" x 12" x 6"	12"	24"	24"	18"
8" x 8" x 6"	-	-	-	24"	12" x 12" x 8"	-	-	-	24"
8" x 8" x 8"	-	-	-	24"	12" x 12" x 12"	-	-	-	36"

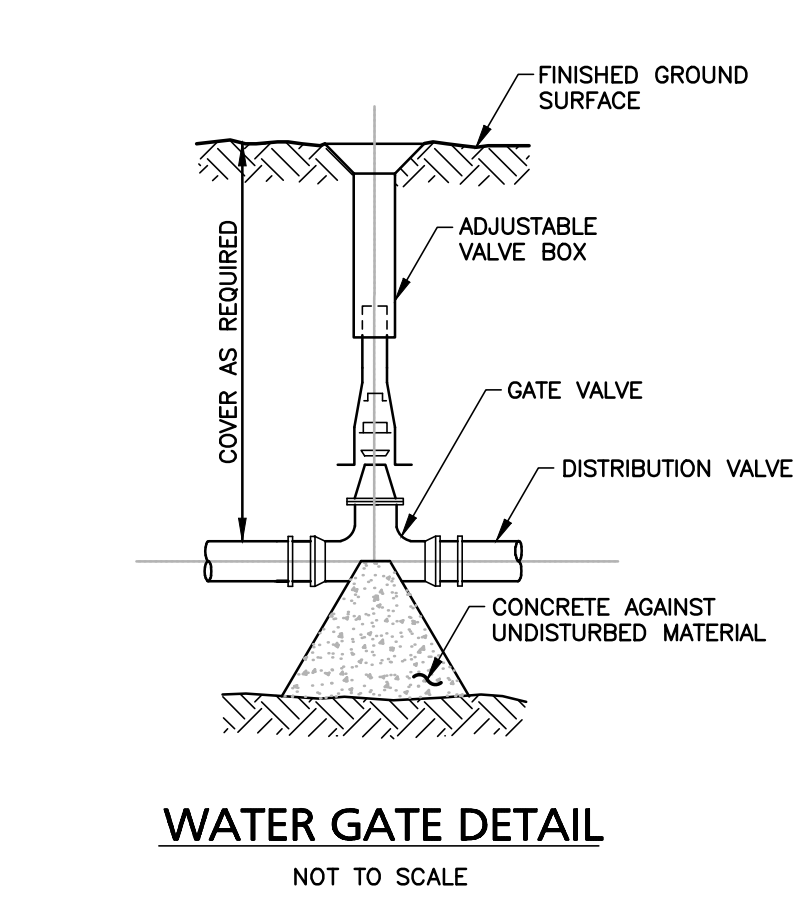
- NOTES:**
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL BE 3000 PSI-TYPE I



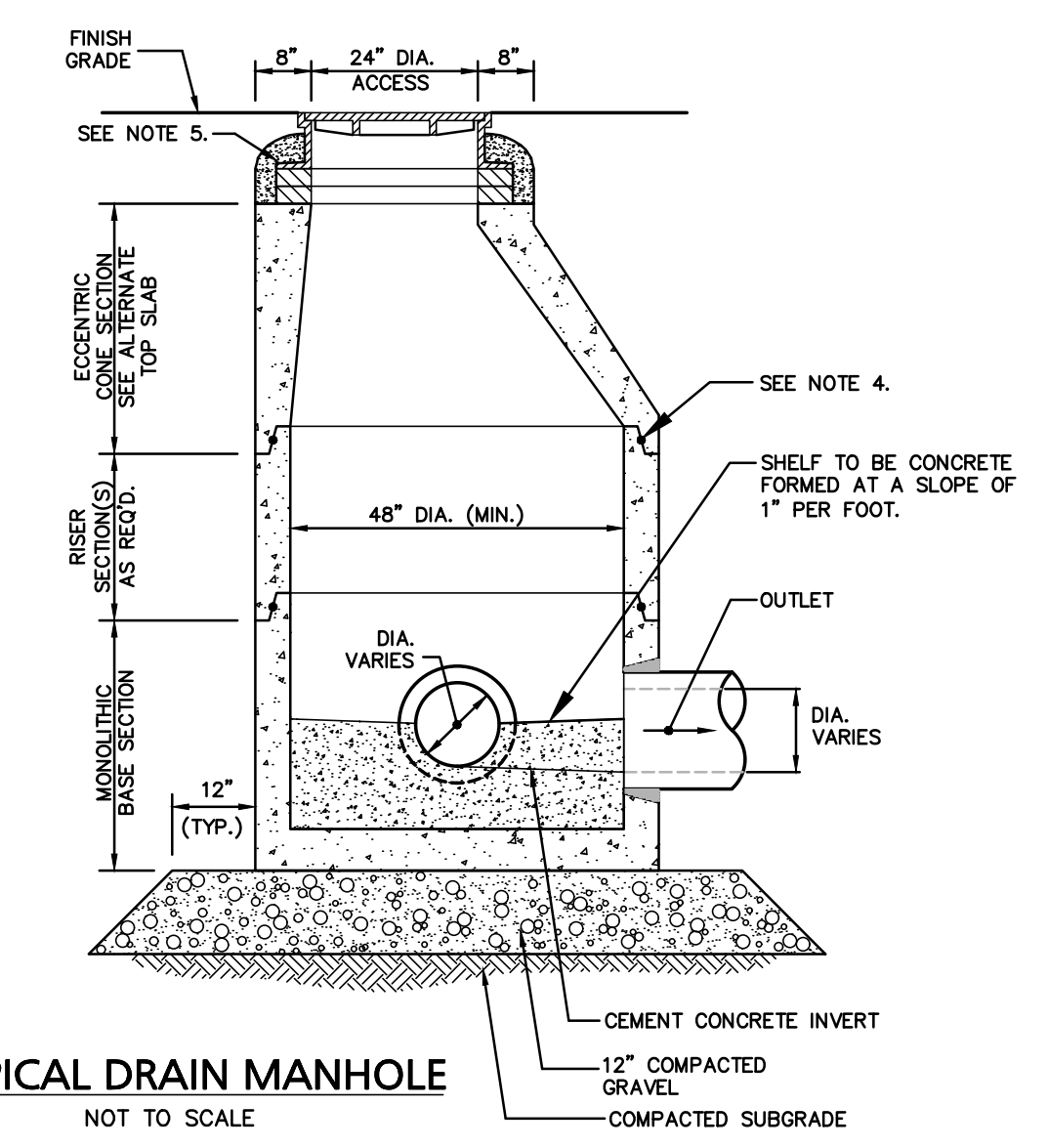
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TAPPING SLEEVE AND VALVE
NOT TO SCALE



WATER GATE DETAIL
NOT TO SCALE



TYPICAL DRAIN MANHOLE
NOT TO SCALE

- DRAIN MANHOLE NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Portsmouth, NH 03801
Tel: (603) 610-7100
Fax: (603) 417-0020

Proposed Site Plan
Lot 3B Madison Street
Worcester, Massachusetts

Rossi Development
345 Boylston Street Suite 300
Newton, MA 02459

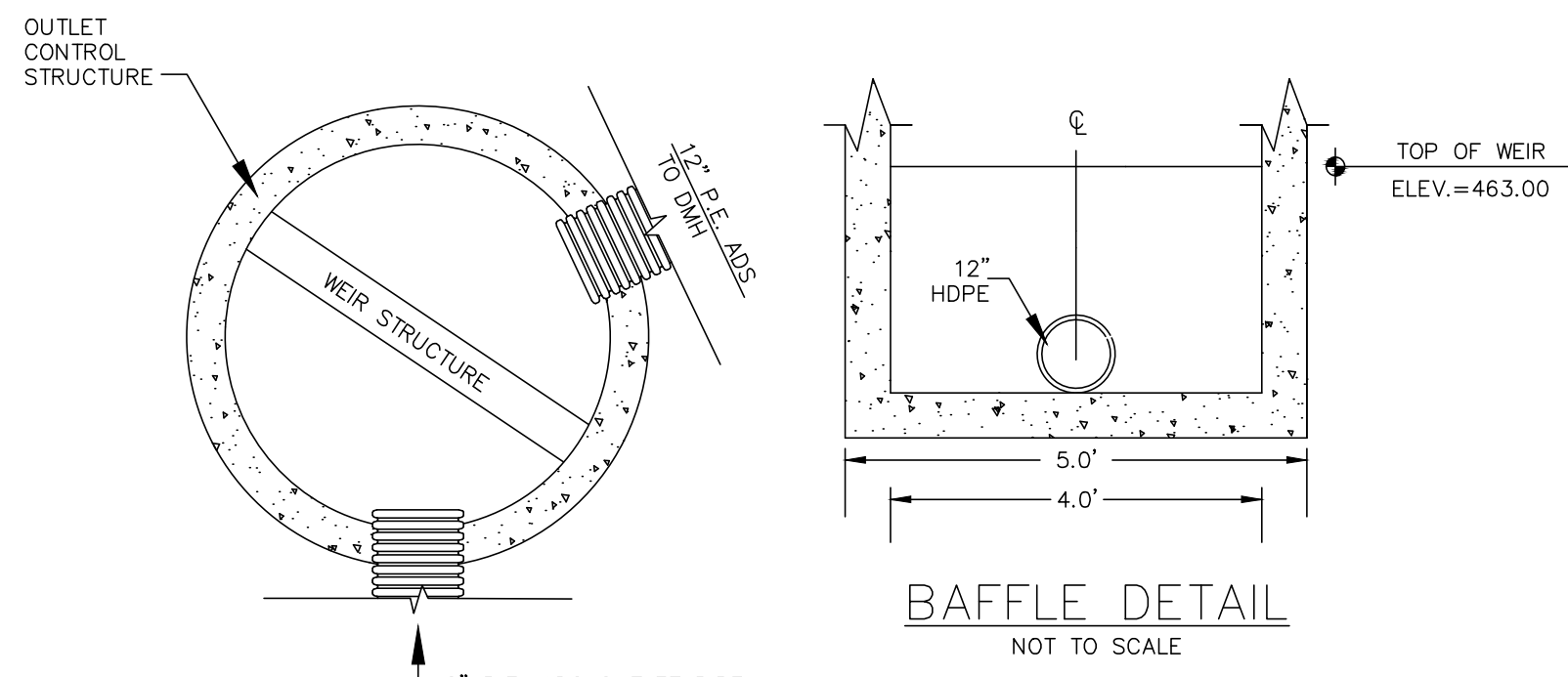
Construction Details

DATE: December 9, 2024
DWG FILE NAME: 24-61422.dwg
SCALE: AS NOTED
DESIGN BY: Eric Bradanes, P.E.
CHECKED BY: Richard A. Salvo, P.E.

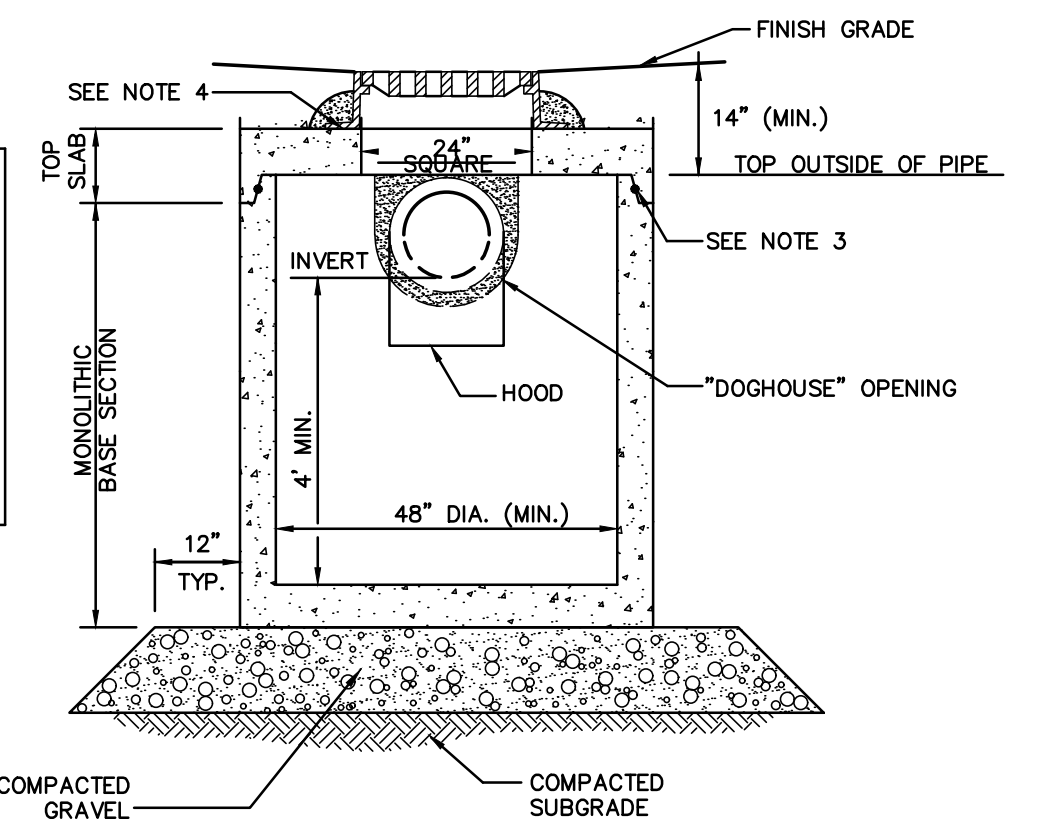
PROJECT # 24-61422
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DESIGN BY: Eric Bradanes, P.E.
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REVISIONS:

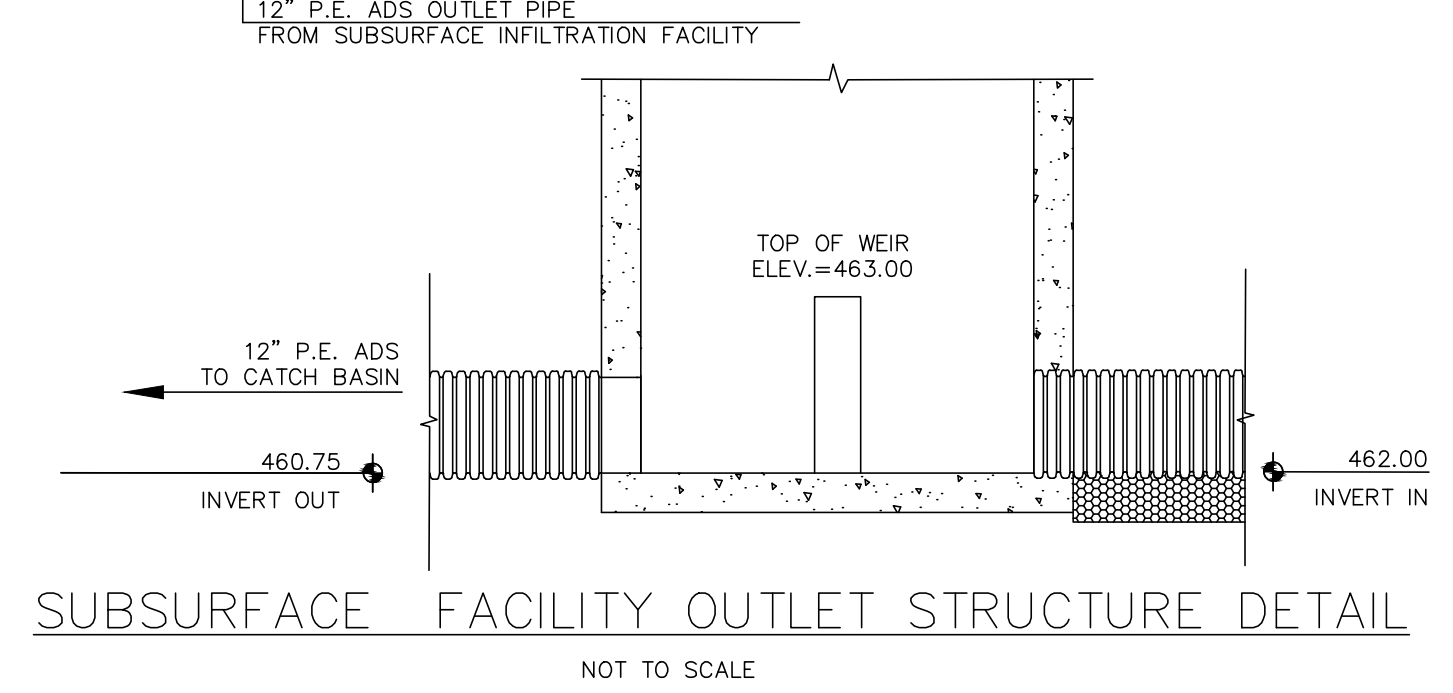
NO.	DATE	DESCRIPTION
1	12/30/24	REVISED PER PLANNING STAFF COMMENTS



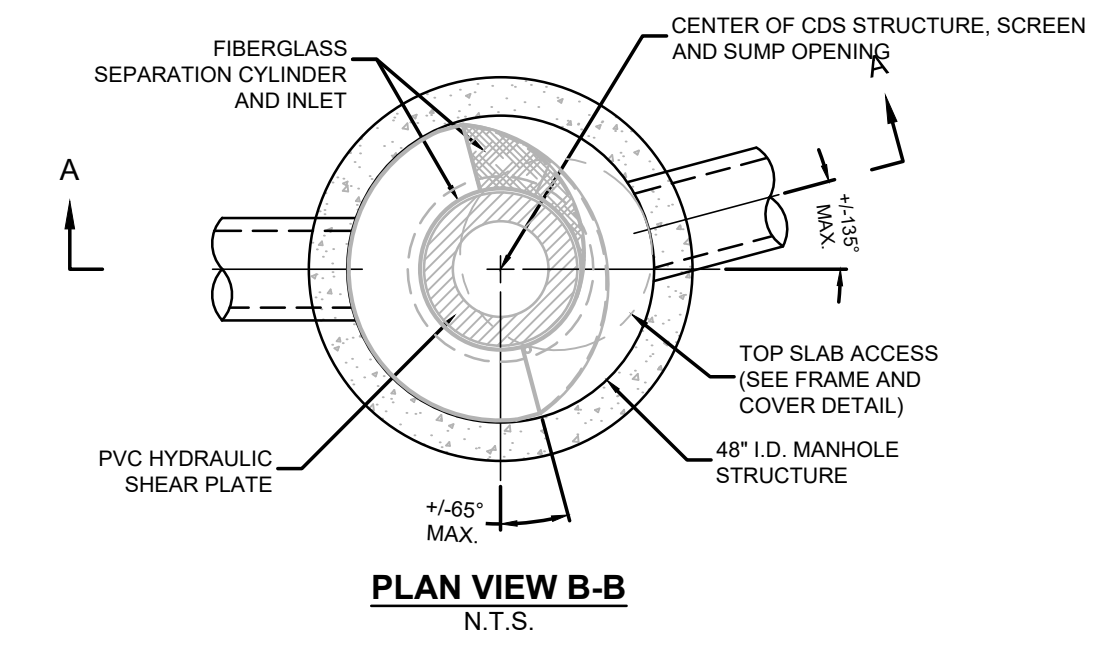
NOTES:
 1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
 5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



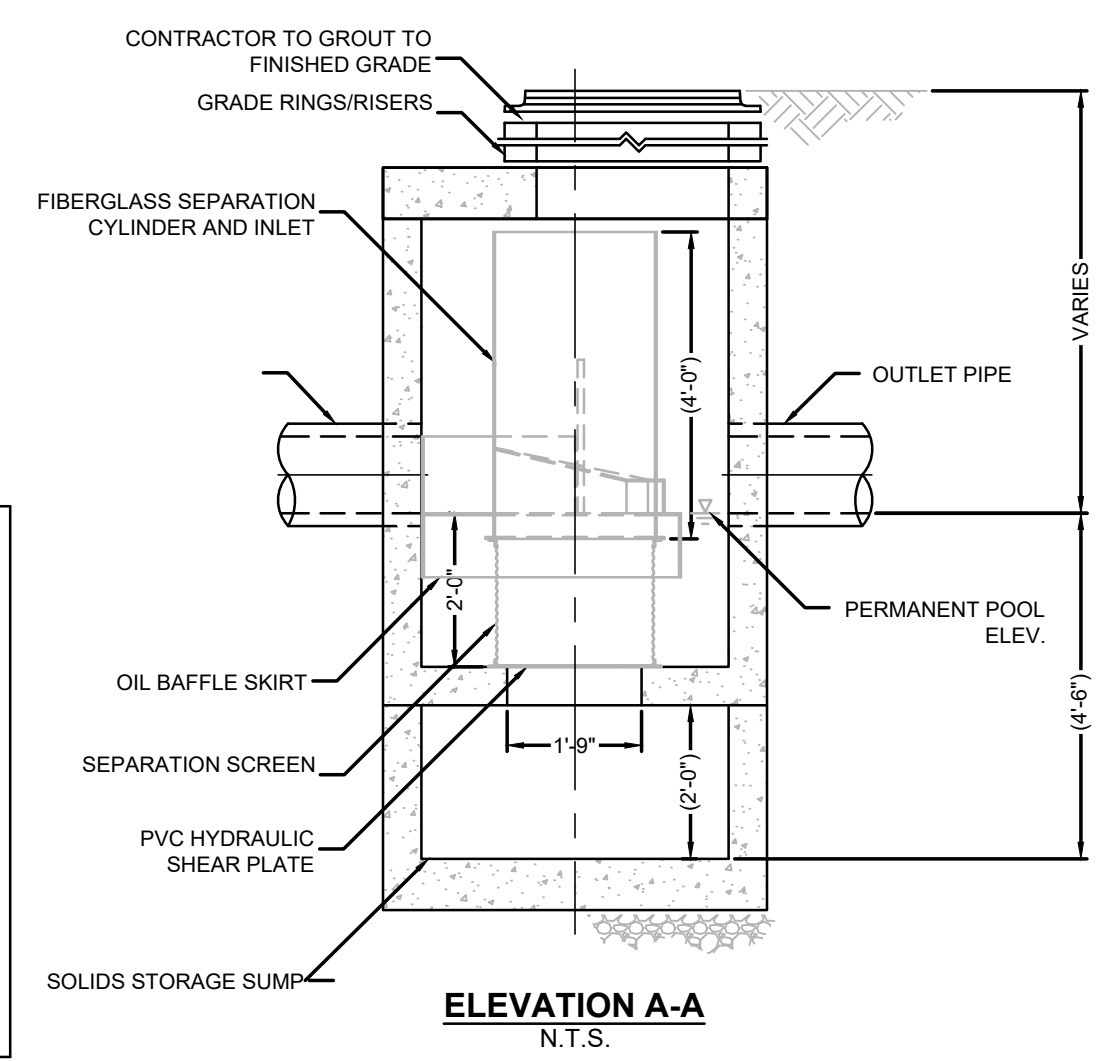
TYPICAL CATCH BASIN SHALLOW COVER WITH HOOD
NOT TO SCALE



SUBSURFACE FACILITY OUTLET STRUCTURE DETAIL
NOT TO SCALE



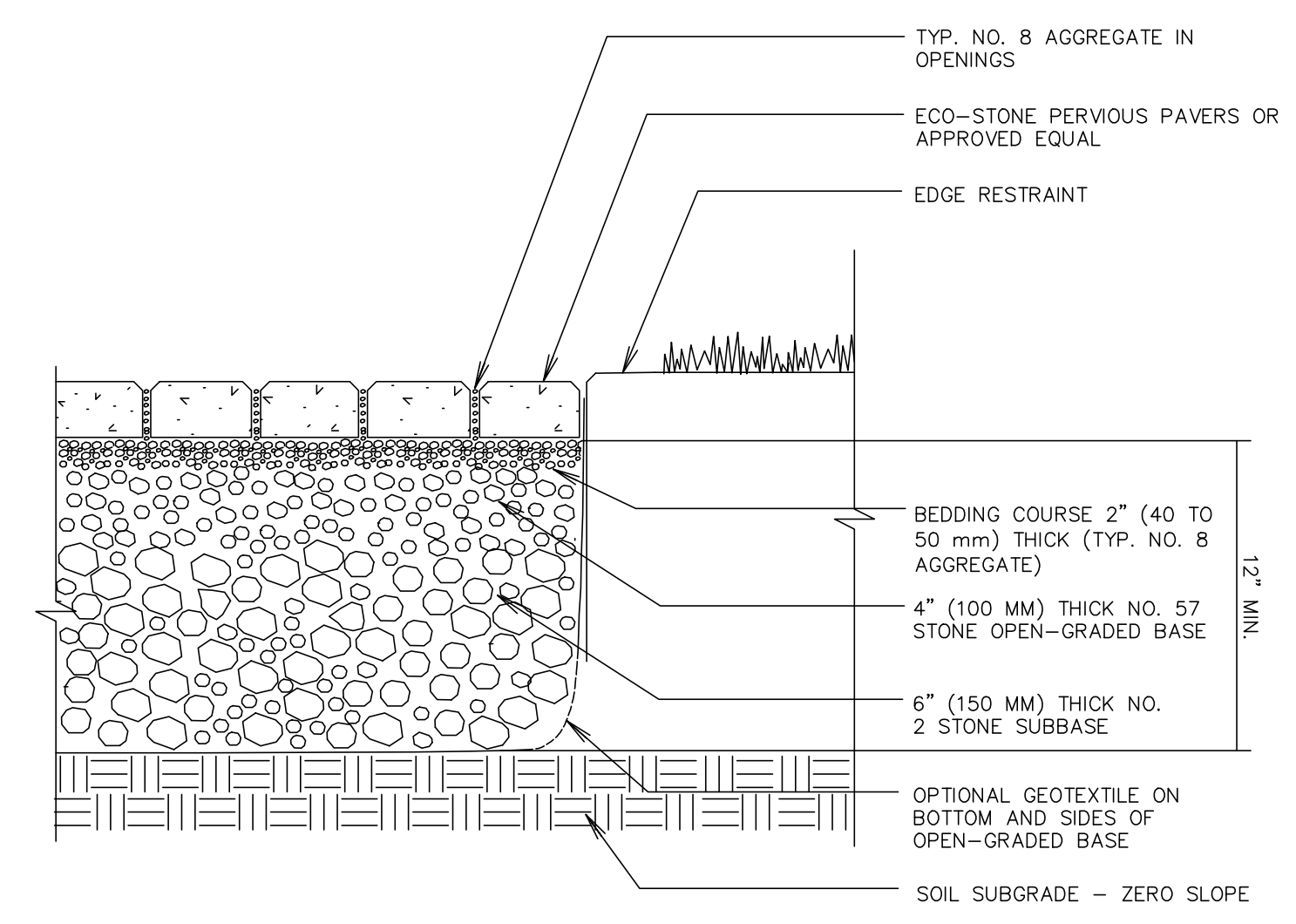
PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

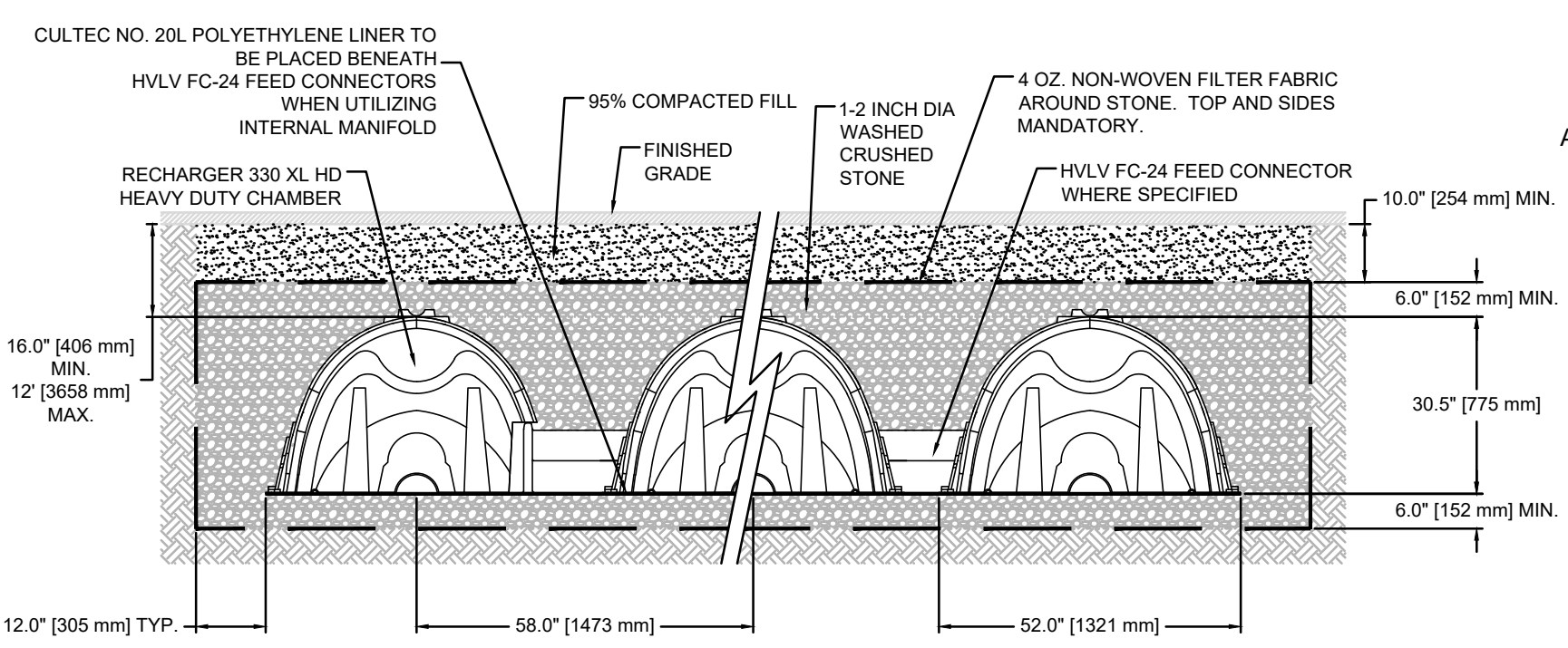
NOTE: CONTECH CDS INLINE OR APPROVED EQUAL CONTECH CDS UNIT
NOT TO SCALE

DRAIN MANHOLE NOTES:
 1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADINGS.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)



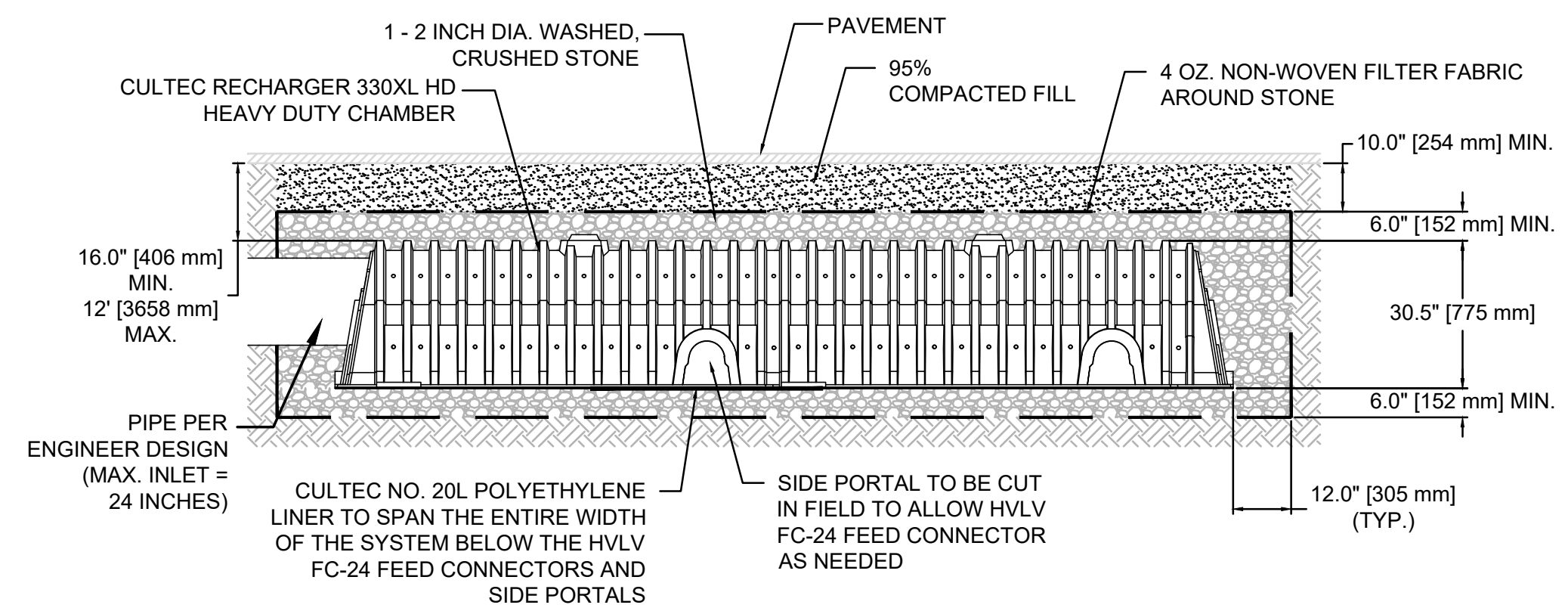
PERVIOUS PAVERS WITH FULL EXFILTRATION TO SOIL SUBGRADE
NOT TO SCALE

NOTES:
 1. NO STONE DUST ALLOWED FOR THE INSTALLATION OF ANY PAVERS
 2. INSTALL BOTTOM OF STONE LEVEL AT ELEVATION 34.45. BACKFILL WITH ADDITIONAL NO.2 STONE TO REACH REQUIRED SITE GRADING WHERE NECESSARY.



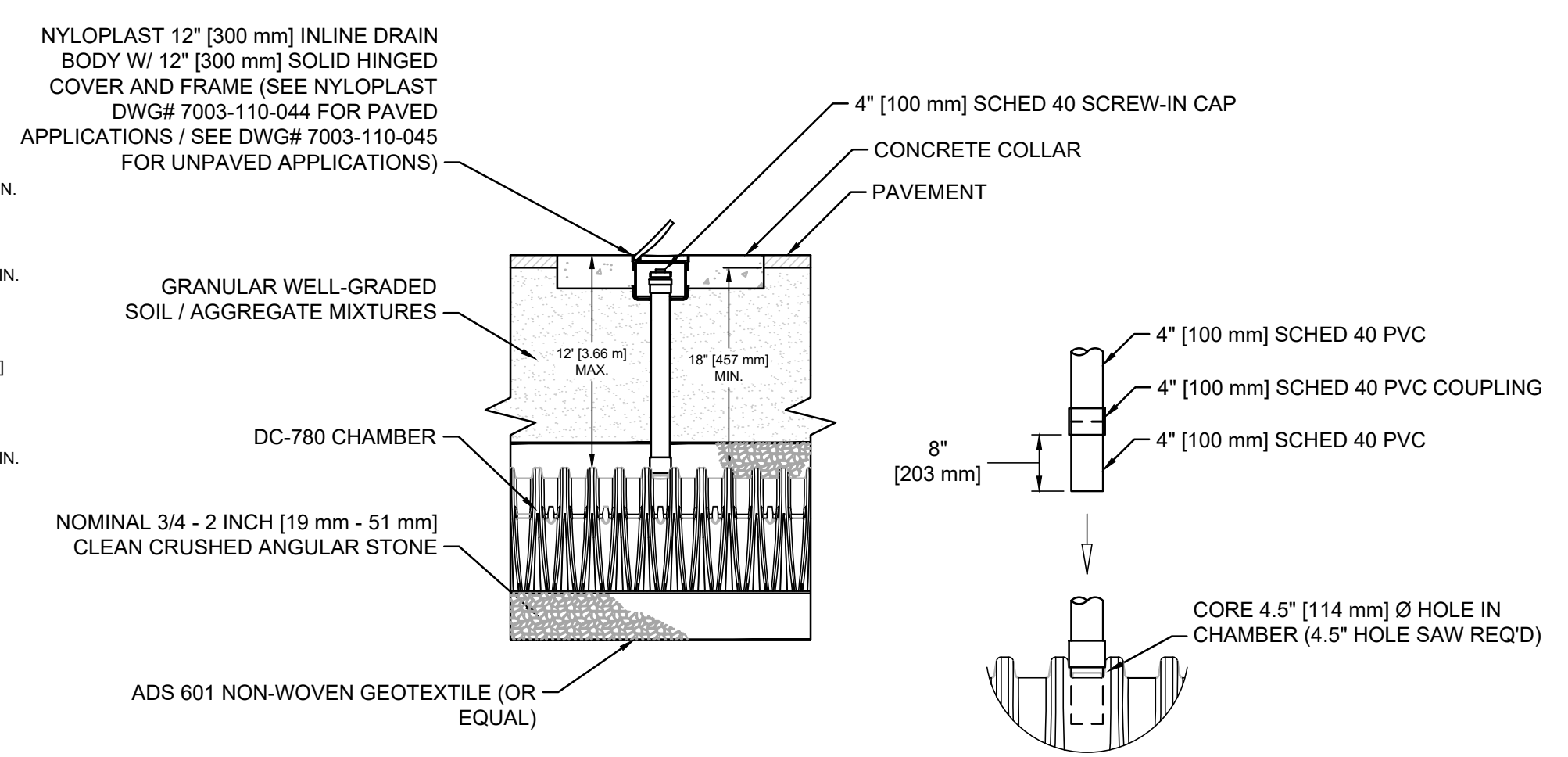
GENERAL NOTES:
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
 ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

TYPICAL CROSS SECTION



MAINFOLD DETAIL SUB-SURFACE DRAINAGE FACILITY DETAIL
CULTEC 330XL HD
NOT TO SCALE

NOTES:
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

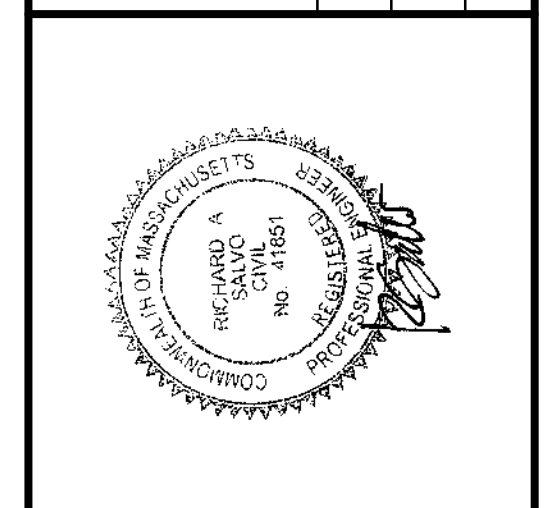


INSPECTION PORT DETAIL
NOT TO SCALE

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Portsmouth, NH 03801
 Tel: (603) 610-7100
 Fax: (603) 610-7101

Proposed Site Plan
 Lot 3B Madison Street
 Worcester, Massachusetts

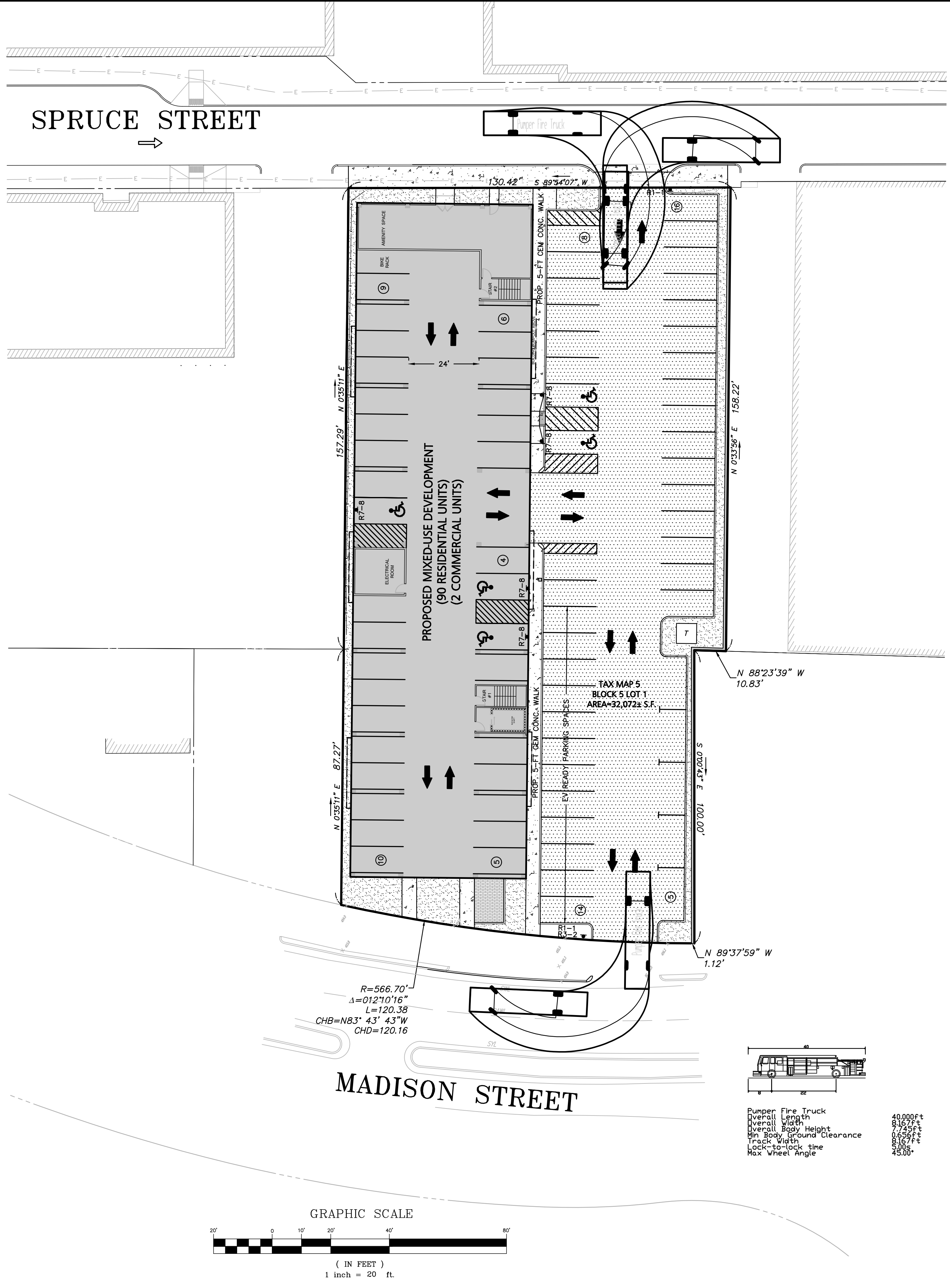
DATE: December 9, 2024
 DWG FILE NAME: 24-61422.dwg
 PROJECT #: 24-61422
 SCALE: AS NOTED
 DESIGN BY: Eric Bradanes, P.E.
 CHECKED BY: Richard A. Salvo, P.E.



Rossi Development
 345 Boylston Street Suite 300
 Newton, MA 02459

Construction Details II

DWG. NO. **D-2**



APPLICANT:

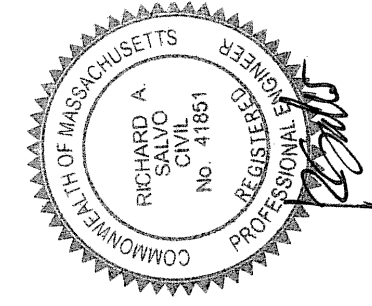
Rossi Development
 345 Boylston Street Suite 300
 Newton, MA 02459

DWG. NO.

1of1

DRAWING TITLE:

Autoturn Figure



PROJECT:

Proposed Site Plan
Lot 3B Madison Street
Worcester, Massachusetts

PROJECT #:

AS NOTED

DATE: December 9, 2024
 DWG FILE NAME: 24-61422.dwg

CHECKED BY: Richard A. Salvo, P.E.

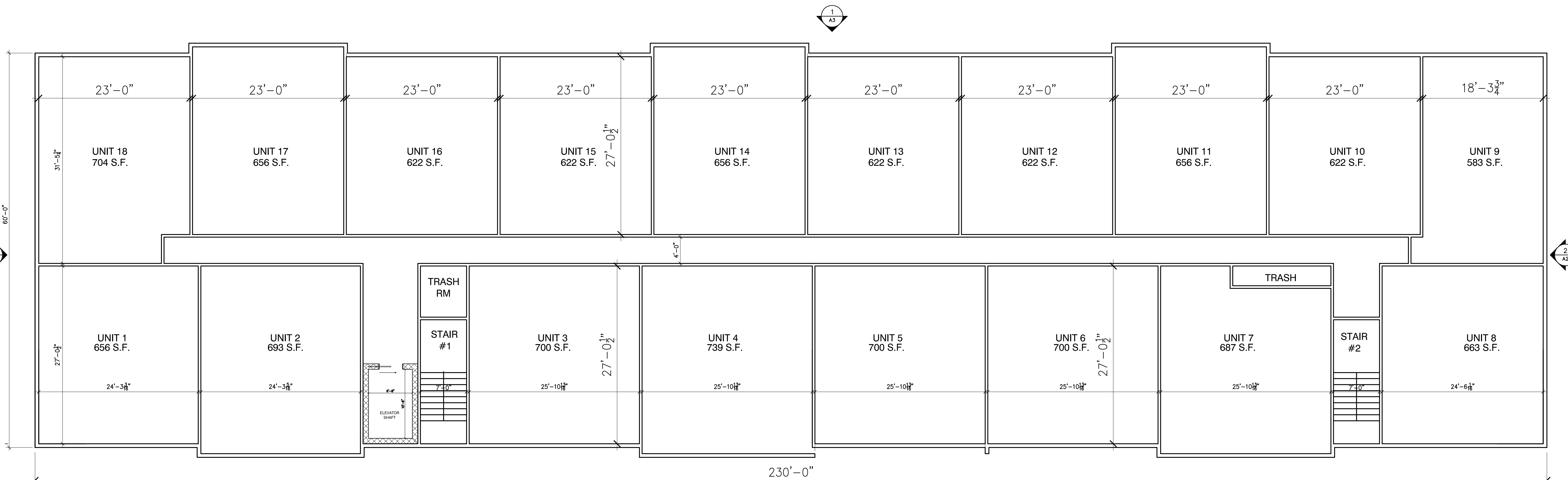
PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 1950 Lafayette Road
 Portsmouth, NH 03801
 Tel: (603) 610-7100
 Fax: (603) 610-7101

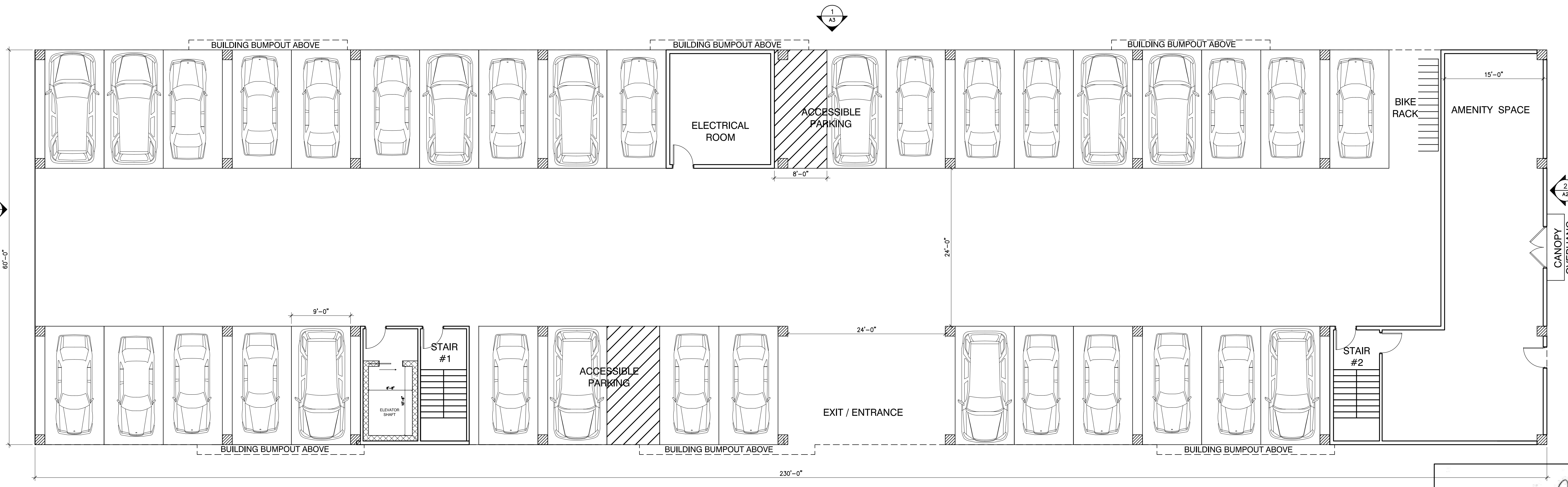
DATE

DESCRIPTION OF REVISION



TOTAL 90 APARTMENT UNITS

2
A1
TYPICAL FLOOR PLAN
1/8" = 1'-0"



1
A1
1st FLOOR PARKING
1/8" = 1'-0"



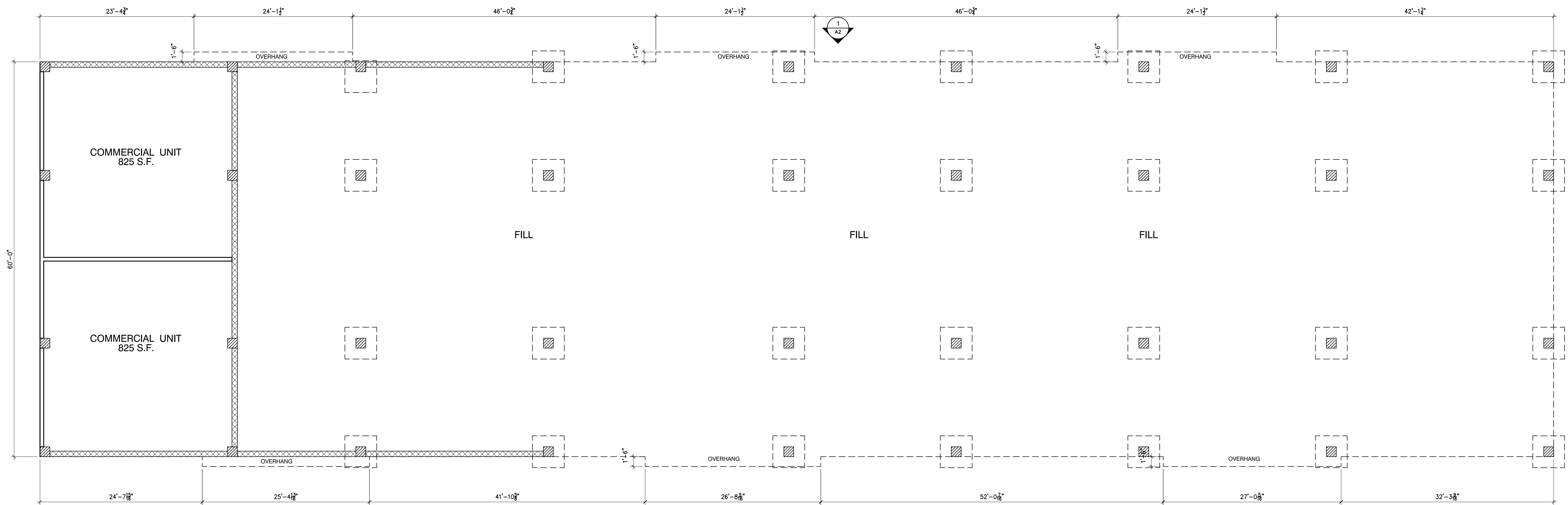
APARTMENT BUILDING
 MADISON STREET-PARCEL 3B
 WORCESTER, MASSACHUSETTS
 1st FLOOR PARKING & TYPICAL FLOOR PLAN

REVISIONS:

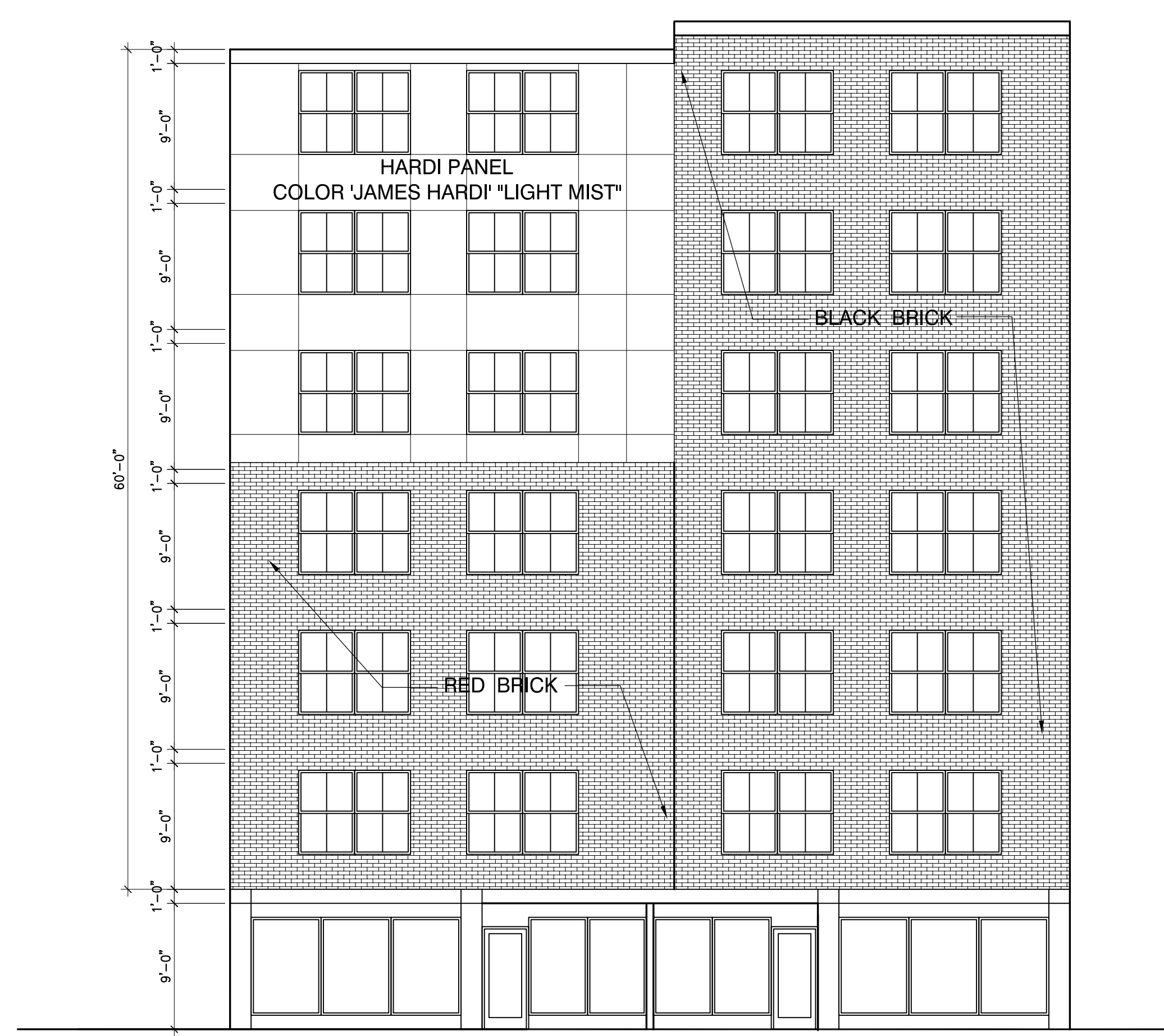
PROJECT NUMBER:
 DATE: 12/27/24
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:

DRAWING NUMBER:

A1



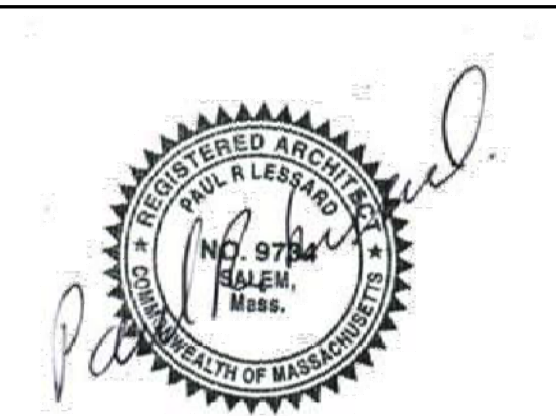
3
A2
PROPOSED LOWER LEVEL PARKING
1/8"=1'-0"



1
A2
PROPOSED SOUTH ELEVATION
1/8"=1'-0"



2
A2
PROPOSED NORTH ELEVATION
1/8"=1'-0"



PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paularchitect.com

APARTMENT BUILDING
MADISON STREET-PARCEL 3B
WORCESTER, MASSACHUSETTS
PROPOSED NORTH & SOUTH ELEVATIONS
PROPOSED LOWER LEVEL PARKING

REVISIONS:

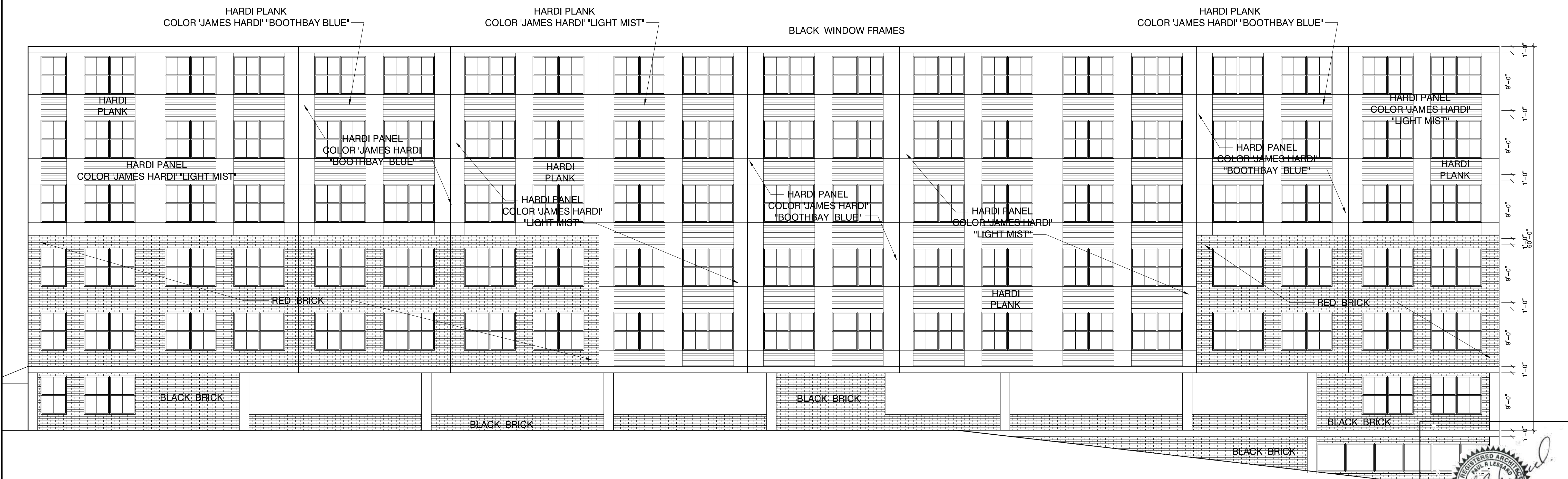
PROJECT NUMBER:
DATE: 12/27/24
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A2



1
A3
PROPOSED EAST ELEVATION
1/8"=1'-0"



2
A3
PROPOSED WEST ELEVATION
1/8"=1'-0"



PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970
 (978) 210-1960 paul@paularchitect.com

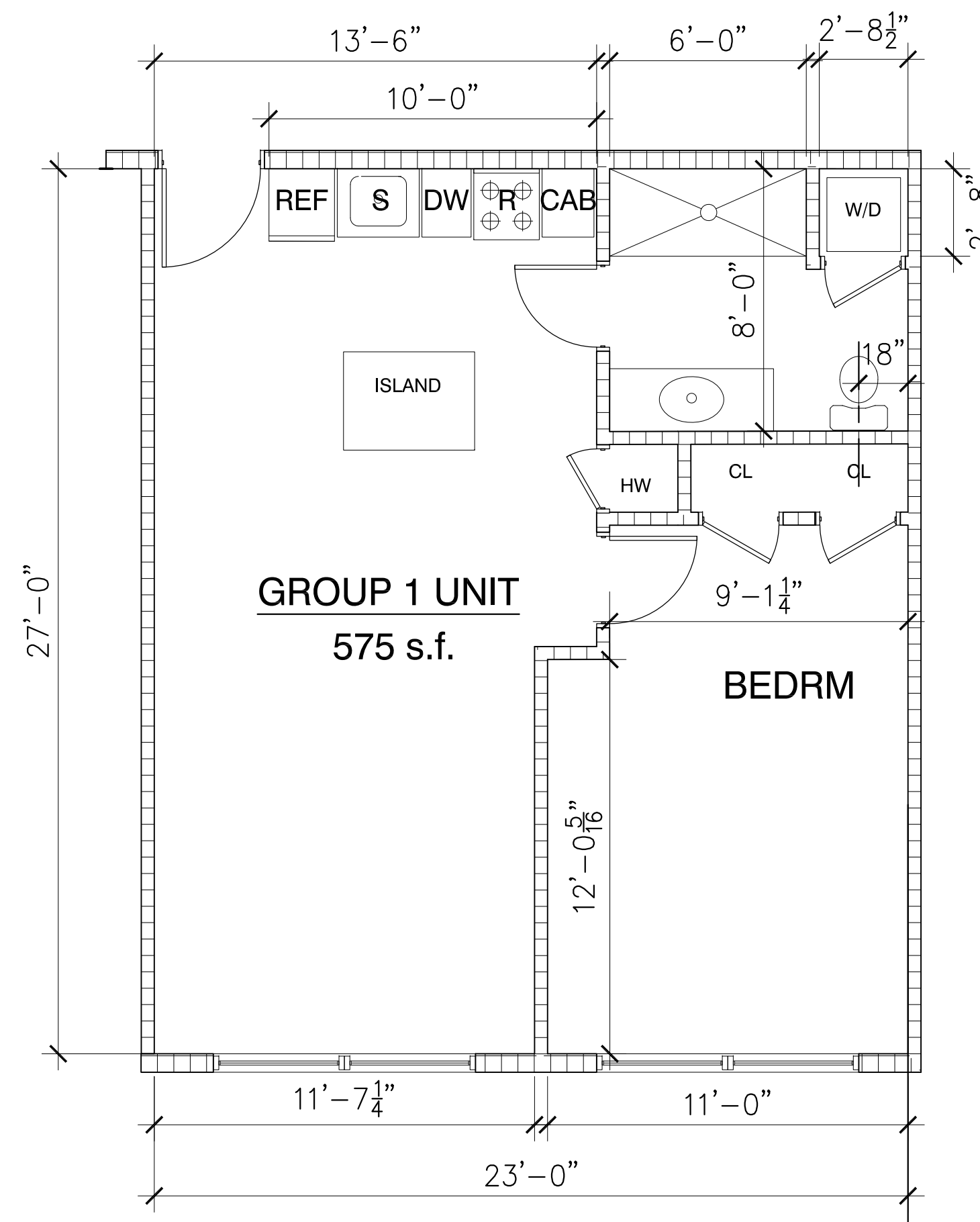
APARTMENT BUILDING
 MADISON STREET-PARCEL 3B
 WORCESTER, MASSACHUSETTS
 PROPOSED EAST & WEST ELEVATIONS

REVISIONS:

PROJECT NUMBER:
 DATE: 12/27/24
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:

DRAWING NUMBER:

A3



1
A4
TYPICAL GROUP 1 UNIT FLOOR PLAN
1/4"=1'-0"

PAUL R. LESSARD

• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paularchitect.com

APARTMENT BUILDING
MADISON STREET-PARCEL 3B
WORCESTER, MASSACHUSETTS

PROPOSED TYPICAL GROUP 1 UNIT FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
DATE: 12/27/24
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A4

